

OVERALL PLAN
SCALE : 1:3750 @ A1
1:7500 @ A3

NOTES:

- 1) Areas and dimensions are approximate & subject to final survey and deposit of plans.
- 2) Service easements to be created as required.
- 3) This plan has been prepared for subdivision consent purposes only. No liability is accepted if the plan is used for any other purpose.
- 4) This plan is subject to the granting of subdivision and/or resource consents and should be treated as a proposal until such time as the necessary consents have been granted by the relevant authorities.
- 5) This plan has been prepared for the use of Danne Mora Holdings Limited only and no liability is accepted in relation to any other parties.

AMENDMENTS:		
AMENDMENT	DATE	DESCRIPTION
R7	30.9.16	AMENDMENTS TO LOT 270.
R8	17.1.17	LOTS 1-27 ADDED
R9	28.2.17	LOT NUMBER CHANGE
R10	03.2.17	ACCESS LOT NOTES AMENDED

PROPOSED AMALGAMATION CONDITIONS	
Lot 45 (Access Lot) hereon be held as to 6 undivided one sixth shares by the owners of Lots 46, 47, 48, 49, 50 & 51.	
Lot 52 (Access Lot) hereon be held as to 4 undivided one fourth shares with the owners of Lots 53, 54, 55 & 56.	
Lot 60 (Access Lot) hereon be held as to 3 undivided one third shares with the owners of Lots 57, 58 & 59.	
Lot 62 (Access Lot) hereon be held as to 5 undivided one fifth shares with the owners of Lots 61, 63, 64, 65 & 66.	
Lot 70 (Access Lot) hereon be held as to 4 undivided one fourth shares with the owners of Lots 67, 68, 69 & 71.	
<u>Proposed Amalgamation Condition - Stage 1B</u> Lots 63 & 64 hereon be amalgamated and held in one computer freehold register.	
Lots 65 & 66 hereon be amalgamated and held in one computer freehold register.	
<u>Proposed Amalgamation Condition - Stage 2</u> Lots 47 & 48 hereon be amalgamated and held in one computer freehold register.	
Lots 49 & 50 hereon be amalgamated and held in one computer freehold register.	
<u>Proposed Amalgamation Condition - Stage 3</u> Lots 53 & 54 hereon be amalgamated and held in one computer freehold register.	
Lots 55 & 56 hereon be amalgamated and held in one computer freehold register.	
<u>Proposed Amalgamation Condition - Stage 4</u> Lots 67 & 68 hereon be amalgamated and held in one computer freehold register.	
Lots 69 & 71 hereon be amalgamated and held in one computer freehold register.	



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COMPRISED IN: C.F.R's.13B/1447, 13B/1448 &13B/1449	
TOTAL AREA: 26.8305ha	



DAVIE LOVELL-SMITH
PLANNING SURVEYING ENGINEERING

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JOB TITLE:	
Halswell Commons	

SHEET TITLE:	
Proposed Subdivision of Lot 2005 RMA 92032792 Lots 52 & 53 DP 33987	

DRAWING STATUS	
For Subdivision Consent	

SCALE: 1:1000@A1 1:2000@A3	
DATE: March 2017	

CAD FILE: J:\1900subcon\19005 Subcon R10.dwg	DRAWN: AMA
DRAWING No: P19005	SHEET No: S01
REVISION: R10	



Block	Affordable
1	0
2	0
3	2
4	1
5	0
6	5
7	4
8	10
9	6
10	8
11	4
12	0
13	7
14	4
15	5
16	2
17	4
TOTAL	62

BLOCK AREA SCHEDULE					
BLOCK NUMBER	BLOCK AREA (m²)	SITES	HH	AVERAGE SITE SIZES	DENSITY (Sites/ha)
1	4864	13	13	374.2	26.7
2	0	0	0	0	0
3	1898	6	6	316.3	31.6
4	4624	12	12	385.3	26.0
5	5801	10	10	580.1	17.2
6	5089	17	17	299.4	33.4
7	8648	25	25	345.9	28.9
8	5992	17	27	352.5	28.4
9	5468	16	16	341.8	29.3
10	5895	15	18	393.0	25.4
11	8448	23	23	367.3	27.2
12	9254	18	18	514.1	19.5
13	9839	27	30	364.4	27.4
14	7112	20	20	355.6	28.1
15	7393	21	21	352.0	28.4
16	6333	15	15	422.2	23.7
17	5194	16	16	324.6	30.8
TOTAL	101634	271	286	357.6	25.5

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SHEET TITLE:
Neighbourhood Residential Typologies Plan

DRAWING STATUS:
For Consent

JOB TITLE:
Halswell Commons Exemplar

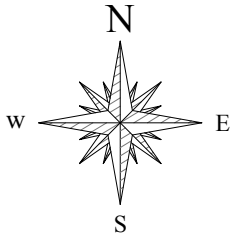
SCALE: 1:1250@A1 1:2500@A3 DATE: March 2017

CAD FILE: J:\1843\UBCON\Neighbourhood Plan R10.dwg

DRAWING No: **E.18948** SHEET No: **R10**

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HALSWELL ROAD



LEGEND



LOT ACCESS



MAX.4.0m SETBACK



MIN.2.0m SETBACK



MAX.3.0m SETBACK

Pedestrian
Only

HENDERSONS ROAD

Homestead
2

2

8

3

4

9

6

5

10

7

11

12

13

16

15

14

17



SHEET TITLE:
**Neighbourhood
Lot Development Controls**

For Consent

JOB TITLE:
**Halswell Commons
Exemplar**

SCALE : 1:1250@A1
SCALE : 1:2500@A3

DATE : March 2017

CAD FILE : j:\1843\UBCON\Neighbourhood Plan R10.dwg

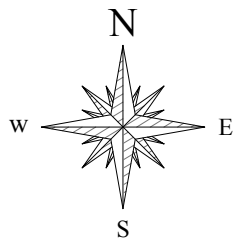
DRAWING No :
E.18948

SHEET No:
R10

REVISION :



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LEGEND

- COLLECTOR
- LOCAL A
- LOCAL B
- LIVING STREET
- (PRIVATE LANE)
- RESERVE
- MEADOWLANDS PARK (PRIVATE)
- EDGE LINE
- BLOCK BOUNDARY
- EXEMPLAR BOUNDARY

RESERVES	
NUMBER	AREA (m²)
1	3023
2	11854
3	12346
4	3395
TOTAL	30618



SHEET TITLE:
**Neighbourhood
Public Space Plan**

DRAWING STATUS
For Consent

JOB TITLE:
**Halswell Commons
Exemplan**

SCALE: 1:1250@A1
1:2500@A3

DATE: March 2017

CAD FILE: J:\1843\UBCON\Neighbourhood Plan R10.dwg

DRAWING No: **E.18948**

SHEET No: **R10**

REVISION:



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14.9.3 Built form standards

14.9.3.1 Building height

- a. The maximum height of any building shall be:

1.	All buildings except as specified below.	8m
2.	Comprehensive residential development on any site that meets Rule 14.9.3.17, except where a different maximum height is specified in the areas in (4) or (5) below.	11m
3.	Retirement villages, except where a different maximum height is specified in the areas in (4) or (5) below.	11m
4.	Within the Prestons Outline Development Plan area (Appendix 8.6.25), in Density A and B areas defined in the outline development plan or on an approved subdivision consent granted before [insert date of Decision]:	
	A. Density A	11m
	B. Density B	10m
5.	Within the Wigram Outline Development Plan area (Appendix 8.6.29), in Density A and B areas defined in the outline development plan or on an approved subdivision consent granted before [insert date of Decision]:	
	A. Density A	13m
	B. Density B	9m
6.	Within the Yaldhurst Outline Development Plan area (Appendix 8.6.28), in Density A areas defined in the outline development plan or on an approved subdivision consent granted before [insert date of Decision].	11m

14.9.3.2 Site coverage

- a. The maximum percentage of the net site area covered by buildings excluding:
- Fences walls and retaining walls;
 - Eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
 - Uncovered swimming pools up to 800 millimetres in height above ground level; and/or
 - Decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - Are no more than 800 millimetres above ground level and are uncovered or unroofed; or
 - where greater than 800 millimetres above ground level and are covered or roofed, are in total no more than 6m² in area for any one site;

shall be as follows:

1.	Sites with a net area of 300m ² and over, except as specified below.	40%
2.	Sites with a net area of under 300m ² , except as specified below.	45%
3.	Comprehensive residential development on any site that does not meet Rule 14.9.3.17 Comprehensive residential development – development site area.	45%

The Christchurch Replacement District Plan

4.	Comprehensive residential development on any site that meets Rule 14.9.3.17 Comprehensive residential development – development site area. The percentage coverage by buildings is to be calculated over the net area of the site of the entire development, rather than over the net area of any part of the development.	50%
5.	Retirement villages The percentage coverage by buildings is to be calculated over the net area of the site of the entire development, rather than over the net area of any part of the development.	50%
6.	Within the Prestons Outline Development Plan area (Appendix 8.6.25), in Density A and B areas defined in the outline development plan:- A. Density A B. Density B	80% 60%
7.	Within the Wigram Outline Development Plan area (Appendix 8.6.29), in Density A and B areas defined in the outline development plan:- A. Density A B. Density B	80% 60%
8.	Within the Yaldhurst Outline Development Plan area (Appendix 8.6.28), in Density A and B areas as shown on an approved subdivision consent plan granted before [insert date of Decision].	60%
9.	Within the Yaldhurst Outline Development Plan area (Appendix 8.6.28), in medium density areas as shown on an approved subdivision consent plan granted before [insert date of Decision].	45%

14.9.3.3 Outdoor living space

- a. Accessible outdoor living space shall be provided on site for each residential unit, and can be a mix of private and communal areas, at ground level or provided by way of above ground balconies, and shall meet the following areas and dimensions:

	Activity/Area	Standard		
		Minimum total area	Minimum private area	Minimum dimension
i.	Residential units (two bedrooms or more).	30m ²	16m ²	4 m for a private ground floor space or communal space
ii.	One bedroom or studio units on the ground floor	16m ²	16m ²	4 m for a private ground floor space or communal space
iii.	One bedroom or studio units on the first floor or above	16m ²	6 m ²	1.5m for balconies 4m for a private ground floor space or communal space

- b. Outdoor living space shall not be encumbered by parking or access arrangements.
- c. At least one private outdoor living space shall be accessible from a living area of the residential unit.
- d. ~~This rule does not apply to a retirement village or a comprehensive residential development.~~

14.9.3.4 Daylight recession planes

- a. Buildings shall not project beyond a building envelope constructed by recession planes (as shown in Appendix 14.14.2 Diagram C), from points 2.3 metres above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access allotment or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access allotment or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes will not apply along that part of the boundary covered by such a wall.
 - iv. ~~Except, buildings on sites in the Density A and B area shown on an approved subdivision consent plan granted before [insert date of Decision] in the Yaldhurst Outline Development Plan Appendix 8.6.28 is to calculate recession planes as shown in Appendix 14.14.2 Diagram D.~~
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to Appendix 14.14.2 for permitted intrusions

- c. Where the building is located in a Flood Management Area, the exemptions in Rule 5.3.1.3 apply (for activities in P1-P4 in Table 5.3.1.1b).

14.9.3.5 Minimum building setbacks from internal boundaries and railway lines

- a. The minimum building setback from internal boundaries shall be as follows:

1.	All buildings not listed below	1 metres
2.	Where residential buildings on adjoining sites have a ground floor window of a habitable space located within 1.8m of the common internal boundary. Except for Density A and B sites shown on an approved subdivision consent plan granted before [insert date of Decision] in the Yaldhurst Outline Development Plan Appendix 8.6.28.	1.8m from neighbouring window for a minimum length of 2m either side of the window. This rule also applies to accessory buildings
3.	All other accessory buildings where the total length of walls or parts of the accessory building within 1 metre of each internal boundary does not exceed 10.1 metres in length	Nil
4.	Buildings that share a common wall along an internal boundary.	Nil
5.	All other buildings where the internal boundary of the site adjoins an access or part of an access.	1 metre
6.	Buildings, balconies and decks on sites adjacent or abutting railway lines.	4 metres from the rail corridor boundary
7.	Additional setbacks are required from specified internal boundaries in the Prestons Outline Development Plan.	Refer to Prestons Outline Development Plan

- b. ~~The above setbacks do not apply to the sites shown on an approved subdivision consent plan granted before [insert date of Decision] in the Yaldhurst Outline Development Plan Appendix 8.6.28, unless a residential unit constructed on these sites is demolished and rebuilt.~~

- ~~c. For a retirement village or a comprehensive residential development, this rule applies only to the internal boundaries on the perimeter of the entire development.~~

14.9.3.6 Minimum setback and distance to living area windows and balconies

- a. The minimum setback from an internal boundary for a living area window, including studio units, shall be 3m (and 4m for living area windows and balconies on floors above ground level).
- ~~b. For a retirement village or a comprehensive residential development, this rule applies only to the internal boundaries on the perimeter of the entire development.~~

14.9.3.7 Landscaping

- a. The full length of the road frontage not used as vehicle or pedestrian access, shall be landscaped to a minimum depth of 2m.
- ~~b. Landscaping shall be provided in specified areas within the:~~
- ~~i. Prestons Outline Development Plan area in accordance with Appendix 8.6.25 narrative section 2~~
 - ~~ii. Highfield Outline Development Plan area in accordance with Appendix 8.6.26 narrative section 9.~~
- ~~c. This rule does not apply to a comprehensive residential development.~~

14.9.3.8 Fencing in the road boundary setback

- a. The maximum height of any fence in the required building setback from a road boundary shall be 1.2 metres.
- b. This rule does not apply to fences or other screening structures located on an internal boundary between two properties zoned residential, or residential and commercial or industrial.
- For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.
- ~~Within the Prestons Outline Development Plan area (Appendix 8.6.25), clause (a) shall apply except that the maximum height of any fence shall not exceed 2m where the fence is at least 50% transparent.~~
- ~~c. Additional fencing requirements in the Prestons Outline Development Plan area are specified in Appendix 8.6.25 narrative section 2.~~
- ~~d. This rule does not apply to a comprehensive residential development.~~

14.9.3.9 Parking areas

- a. Parking areas shall be separated from adjoining roads by either planting, fences, or a combination thereof. The standards in Rules 14.9.3.7 (Landscaping) and 14.9.3.8 (Fencing in the road boundary setback) apply.
- ~~b. This rule does not apply to a retirement village or a comprehensive residential development.~~

14.9.3.10 Garages

- a. Garages shall not comprise more than 50% of the ground floor elevation viewed from any one road boundary on any one site and shall not be more than 6.5m wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5m from the shared access (not including access allotments) or road boundary.
- ~~b. This rule does not apply to sites shown on subdivision approval plans RMA92029514 in the Yaldhurst Outline Development Plan Appendix 8.6.28, unless a residential unit constructed on these sites is demolished and rebuilt.~~
- ~~c. This rule does not apply to a retirement village or a comprehensive residential development.~~

14.9.3.11 Road boundary building setback

- a. The minimum building setback from road boundaries shall be 4m except where b or c applies.
- ~~b. The minimum building setback from road boundaries shall be 3m on any site within the Prestons Outline Development Plan area (Appendix 8.6.25) or Yaldhurst Outline Development Plan (Appendix 8.6.28).~~
- ~~c. The minimum building setback from road boundaries shall be 2m on any site in Density A areas within the Wigram Outline Development Plan area (Appendix 8.6.29).~~
- ~~d. This rule does not apply to a comprehensive residential development.~~

14.9.3.12 Ground floor habitable space and overlooking of street

- a. The ground floor of a residential unit shall have a habitable space with a window area of at least 2m² facing the road boundary.
- ~~b. This rule does not apply to a retirement village or a comprehensive residential development.~~

14.9.3.13 Service, storage, and waste management spaces

- a. For multi-unit residential complexes and social housing complexes only:
 - i. each residential unit shall be provided with at least 2.25 m², with a minimum dimension of 1.5 metres, of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins;
 - ii. each residential unit shall be provided with at least 3 m², with a minimum dimension of 1.5 metres, of outdoor space at ground floor level for washing lines; and
 - iii. the required spaces in i. and/or ii. for each residential unit shall be provided either individually, or within a dedicated shared communal space.
- ~~b. This rule does not apply to a retirement village, a comprehensive residential development or to residential unit constructed as at [insert date of Decision].~~

14.9.3.14 Minimum unit size

- a. The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging or balconies) for any residential unit shall be as follows:

	Number of bedrooms	Minimum net floor area
1.	Studio	35m ²
2.	1 bedroom.	45m ²
3.	2 bedrooms.	60m ²
4.	3 or more bedrooms.	90m ²

- ~~b. This rule does not apply to residential units in a retirement village or a comprehensive residential development.~~

14.9.3.15 Water supply for fire fighting

- a. Sufficient water supply and access to water supplies for fire fighting shall be made available to all residential units via Council's urban fully reticulated system and in accordance with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008).

~~14.9.3.16 Outline development plan~~

- ~~a. Any activity shall be in accordance with the development requirements in a relevant outline development plan.~~

~~14.9.3.17 Comprehensive residential developments – development site area~~

- ~~a. The minimum area of any comprehensive residential development site shall be 6000m².~~

4.1 BUILDING MATERIALS

Ensuring a level of visual cohesion for buildings is critical to neighbourhood development and identity. This is best achieved through a limited palette of materials, and letting the designer utilise them in many varied and interesting ways.

Suggested building materials should utilise long lasting and durable components, minimising poor quality weathering over time that may degrade the aesthetic of the development.

The overall building material aesthetic should be one of strong, solid wall construction with deep reveals. While a limited palette of materials is sought, mono-clad structures are to be avoided.

WALLS

WOOD:

Weatherboard/or board and baton with 'boxed-out corners'. The walls provide the backdrop for the building. Therefore neutral colours, natural finishes, or black (creosote) work best.

METALS:

Earth tones, non-reflective surfaces – only used on minor elements of the main building

STONE:

Should be used sparingly, be appropriate (eg Oamaru limestone) and be structural in appearance

BRICK:

Either bagged, painted or plastered

BLOCK WORK:

Natural, painted, plastered or honed

CONCRETE:

Textured and with local aggregate, natural or honed

Where different materials join, there should be a clear break in the plane of the surface.

Mixes of cladding materials, unrelated to structural expression, are to be avoided.

EXTERIOR FINISHES

The overall palette of external wall finishes is encouraged to be natural in colour and materials.

All exterior coatings to be natural mineral based: native clays, stones, sand, cement or lime based which are easy to apply and maintain. They are to be maintained without using extensive scraping, sanding or labour intensive preparations.

Application of finishes to buildings should not be used purely to add interest to a facade, but should rather be used to complement and express different elements within the facade.

For instance a lean-to or chimney could be corrugated iron with the main body of the building being timber. The ground floor of a building could be bagged brick and the upper part timber.

COLOURS

In general, a palette of muted earth tones, creams and whites is encouraged for use in buildings to ensure classical and elegant streetscapes that are sophisticated in appearance.

Natural clay tints, limewashes and oxide tints are recommended where colour is used. Accent colours should only be used in feature buildings which are intended to make an architectural statement.

ROOFS

Roofs in *Meadowlands* are simple and functional to reinforce a 'village' atmosphere and form. Materials should be made from non-reflective, subdued earth colours and include:

- Eurotray
- Oxidised tin
- Profiled Iron
- Copper
- Slate

Use of unglazed clay and concrete tiles, timber shingles, asphalt shingles or synthetic roofing should be avoided.



Figure 76. Simple additions and annexes can add great value to a house.



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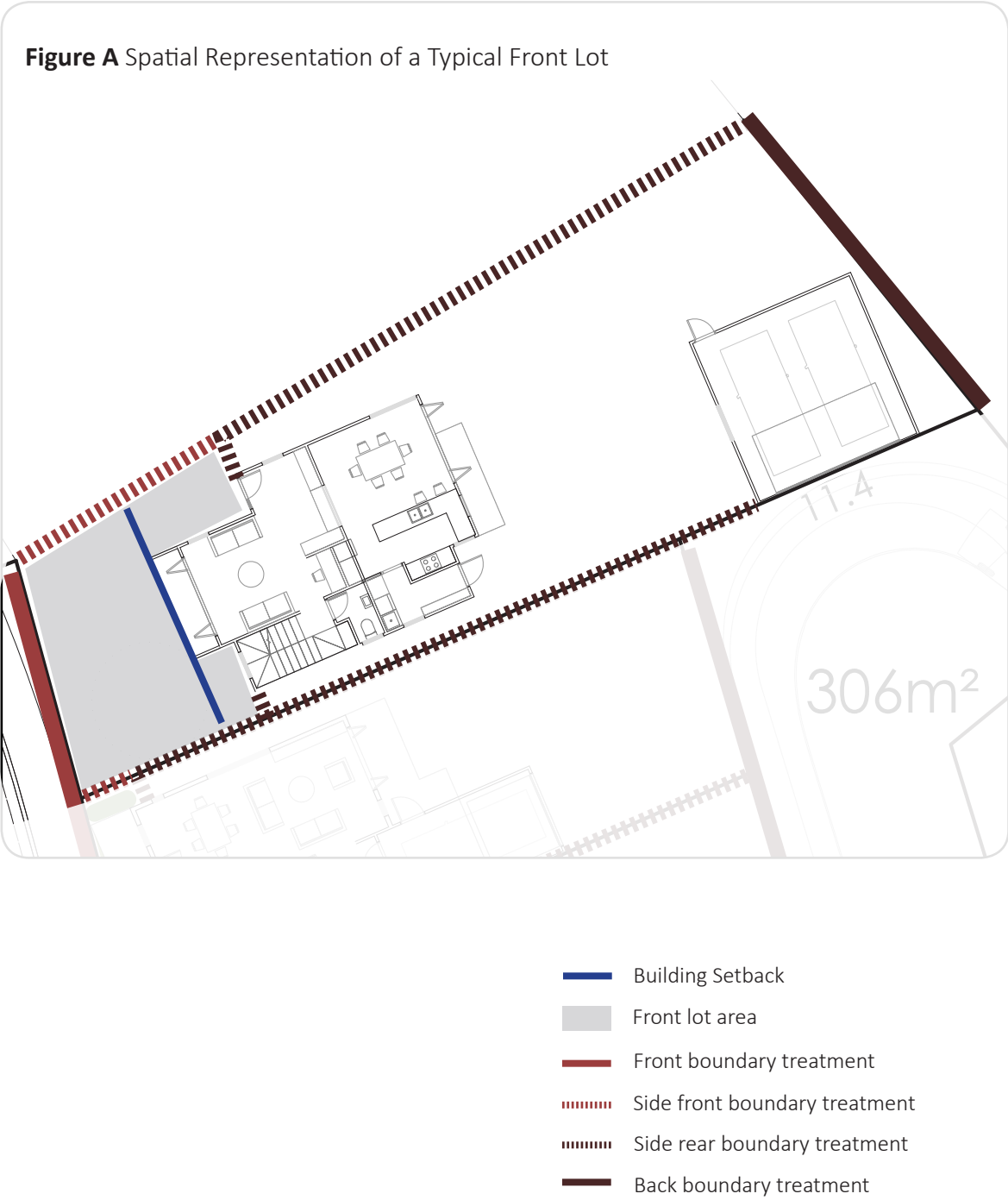
FRONT LOT LANDSCAPE
GUIDELINES: Block 5 - Lots 35-44

Date: 20/12/16 | File E16005

rough & milne landscape architects

In association with





Introduction

This document contains landscape guidelines for planting residential front lots in Lots 35-44 of the Exemplar Zone in Halswell Commons.

The landscape guidelines are tailored to both building typology and setback. A front lot includes the area between the front boundary and the front facing walls of the building (as indicated in Figure A). Building placement is to be confirmed by the developer in relation to setback allowances (illustrated on page 1).

Landscape guidelines are separated into areas defined as ‘front landscape zone’, ‘side landscape zone’, ‘boundary treatment,’ and include tree species where appropriate. Beyond the 1.5m ‘front landscape zone,’ sites may include a ‘general landscape zone’ which allows buyers to choose the treatment as long as it is permeable. Plants may be chosen from the palette that corresponds to the street frontage; this ensures front lots and street planting is complementary and contributes to a more cohesive site character.

Fencing typologies are included for residential lots.

Contents

FRONT LANDSCAPE GUIDELINES:

Lot Classification Plan.....	1
Stand Alone Front Yard.....	2

PLANT PALETTES:

Local B Front Yard.....	3
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LOT FENCING GUIDELINES:

Permeable.....	4
Semi-Permeable.....	5
Solid.....	6

FRONT LANDSCAPE TYPOLOGY | Lot Classification Plan



Boundary Legend

- Exemplar Zone boundary
- Front lot boundary

Front Lot Typology Legend

STAND ALONE HOUSE





- Front Landscape
- Refer to page 2

FRONT LANDSCAPE TYPOLOGY | Stand Alone Front Yard





GENERAL PRINCIPLES

- Landscaping will become an extension of the streetscape; enhancing street amenity and softening the built form
- Landscaping is intended to enable passive surveillance through maintaining visual permeability from house to street
- Landscaping is intended to encourage neighbourhood interaction and engagement with the street by serving as a visually shared public/private interface
- Houses shall provide direct and clear access to the street for pedestrians
- There must be one tree per lot, see landscape zone treatments table below.

BOUNDARY TREATMENT REQUIREMENTS

ID	LOCATION	TREATMENT (Refer to page 16 for design guidelines)	MAX HEIGHT
F 	Front onto Street or Reserve	No fence or;	N/A
		Permeable	1.2m
		Hedge	1.2m
S 	Side Front	Hedge or;	1.2m
		Permeable	1.2m
R 	Side Rear onto Neighbour	Solid Fence	1.8m
	Side Rear onto Street	Semi-Permeable: Type 2	1.8m
	Side Rear onto Reserve	Semi-Permeable: Type 2	1.8m
B 	Back onto Laneway	No fence or;	N/A
		Hedge;	1.2m
		Permeable;	1.2m
		Semi-Permeable: Type 1	1.2m

LANDSCAPE ZONE TREATMENTS

ID	ZONE	DESCRIPTION	TREATMENT
	Tree	Must be planted 0.75m minimum from any boundary, and the house be laid out to be a minimum of 2.0m from the tree.	Tree required
	Front Landscape Zone	Minimum of 1.5m wide measured from front boundary. 100% treatment coverage required.	Low planting
	Side Landscape Zone	Minimum of 1m wide where possible measured from the front side boundary.	Low planting
			Medium planting
			Lawn
	General Landscape Zone	Remaining space not covered by the above. Must consist of porous surfaces. There shall be no parking on the General Landscape zone.	Low planting
			Medium planting
			Lawn
			Permeable paving
			Gravel

Refer to plant palette for species lists.

EXAMPLE OF LANDSCAPE TREATMENT



PLANT PALETTE | Local B Front Yard

Species selection is not restricted to this list.

TREE SPECIES



Malus ioensis plena



Pyrus salicifolia pendula



Robinia 'Lace Lady'

Street Planting: Native tree planting to attract native birds and encourage biodiversity.

LOW PLANTING



Hebe 'Emerald Green'



Podocarpus nivalis



Libertia grandiflora



Phormium 'Pepe'



Pratia angulata



Uncinia uncinata

MEDIUM PLANTING



Alchemilla mollis



Chionochloa flavicans



Pachystegia insignis



Lomandra tanika



Sophora prostrata

HEDGE SPECIES



Coprosma propinqua



Corokia 'Geentys Green'



Fiejoa 'Unique'

FENCING TYPOLOGY | Lot Fencing: Permeable

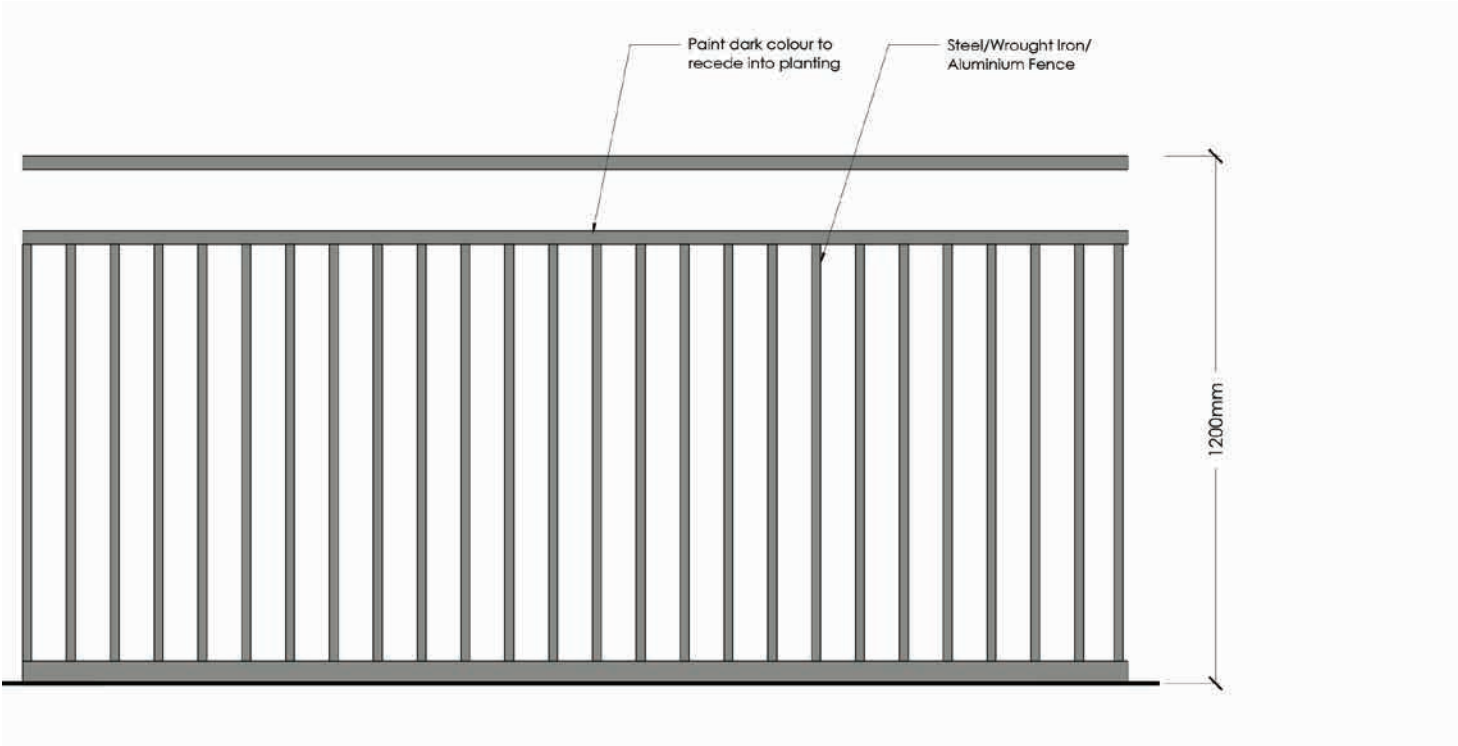
PERMEABLE FENCE: ACCEPTABLE SOLUTIONS

OPEN METAL STYLE

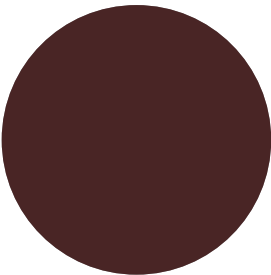
Suitable for Front onto Street, Front onto Reserve, Side Front, Back onto Laneway



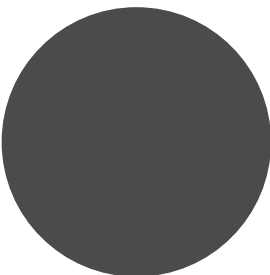
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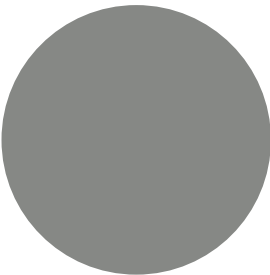
COLOUR PALETTE



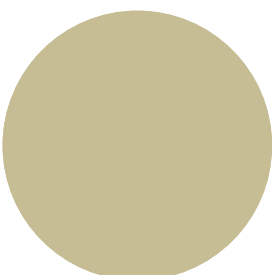
Resene 'Mahogany'



Resene 'Uhi'



Resene 'Stack'



Resene 'Thistle'

FENCING TYPOLOGY | Lot Fencing: Semi-Permeable

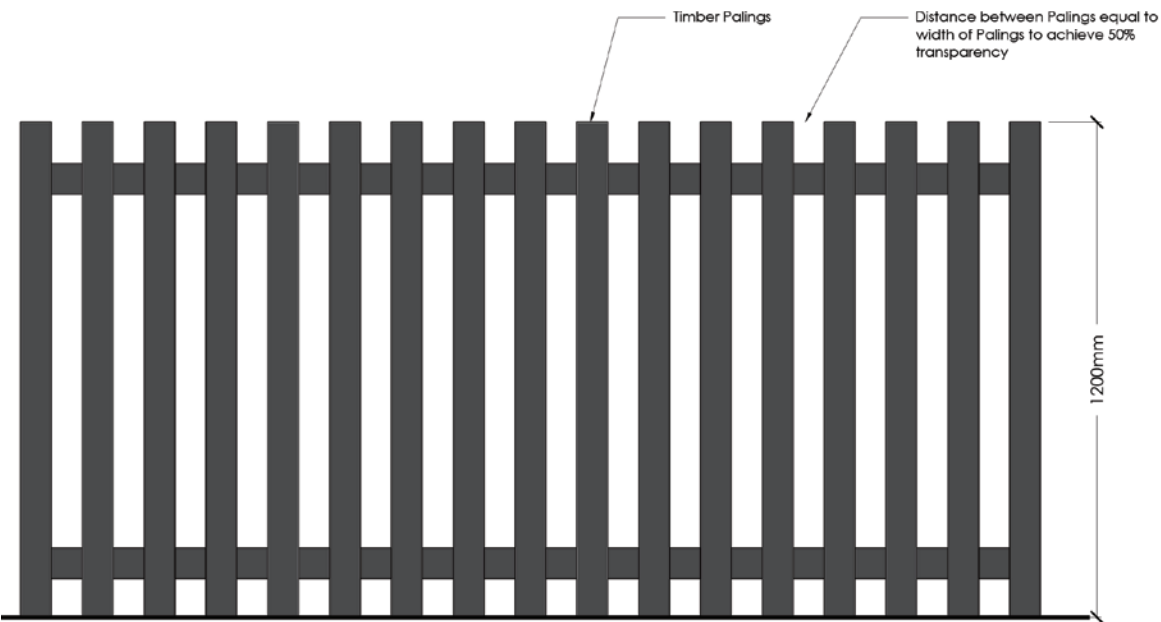
SEMI-PERMEABLE FENCE: ACCEPTABLE SOLUTIONS

TYPE 1. TIMBER PICKET STYLE

Suitable for Back onto Laneway.



Inspiration image

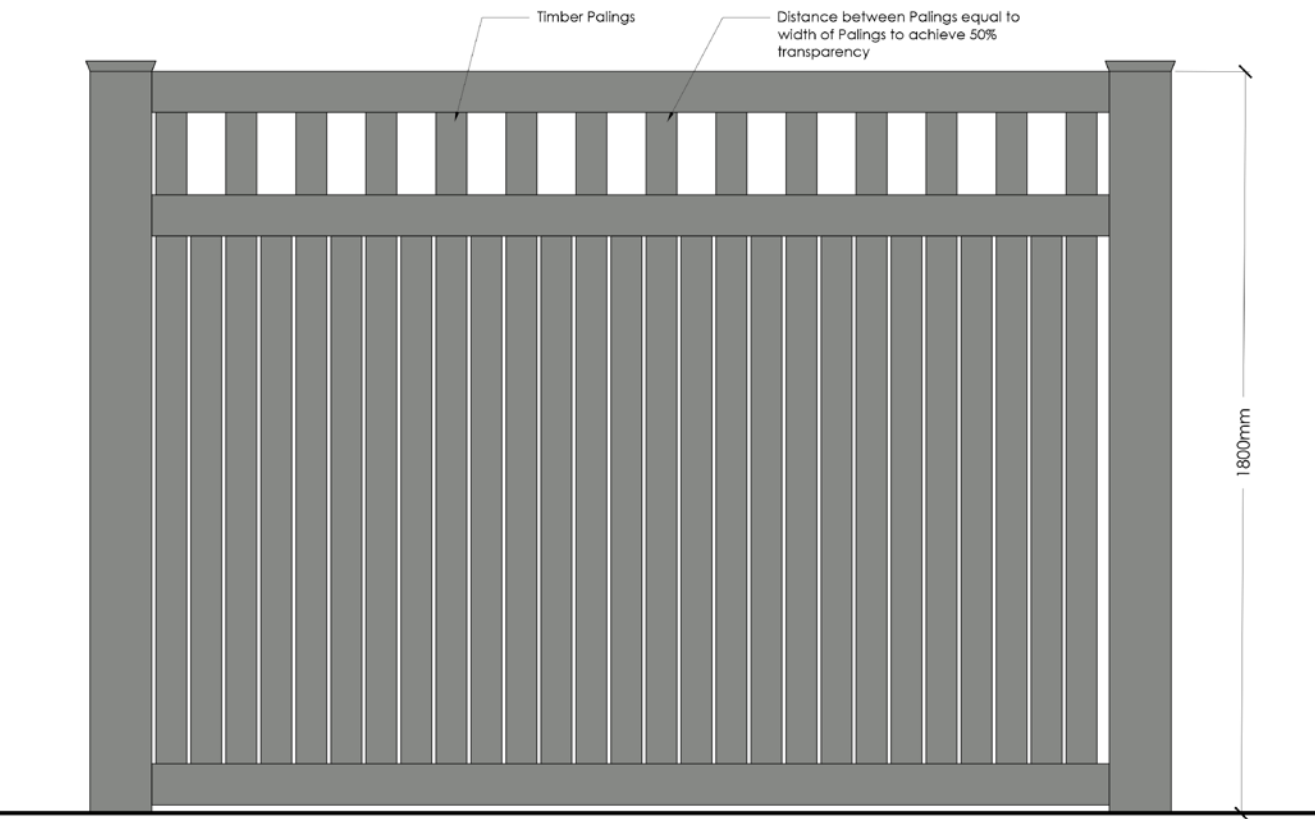


TYPE 2. HALF HEIGHT TIMBER AND TRELLIS

Suitable for Side Rear onto Street, Side Rear onto Reserve.



Inspiration image



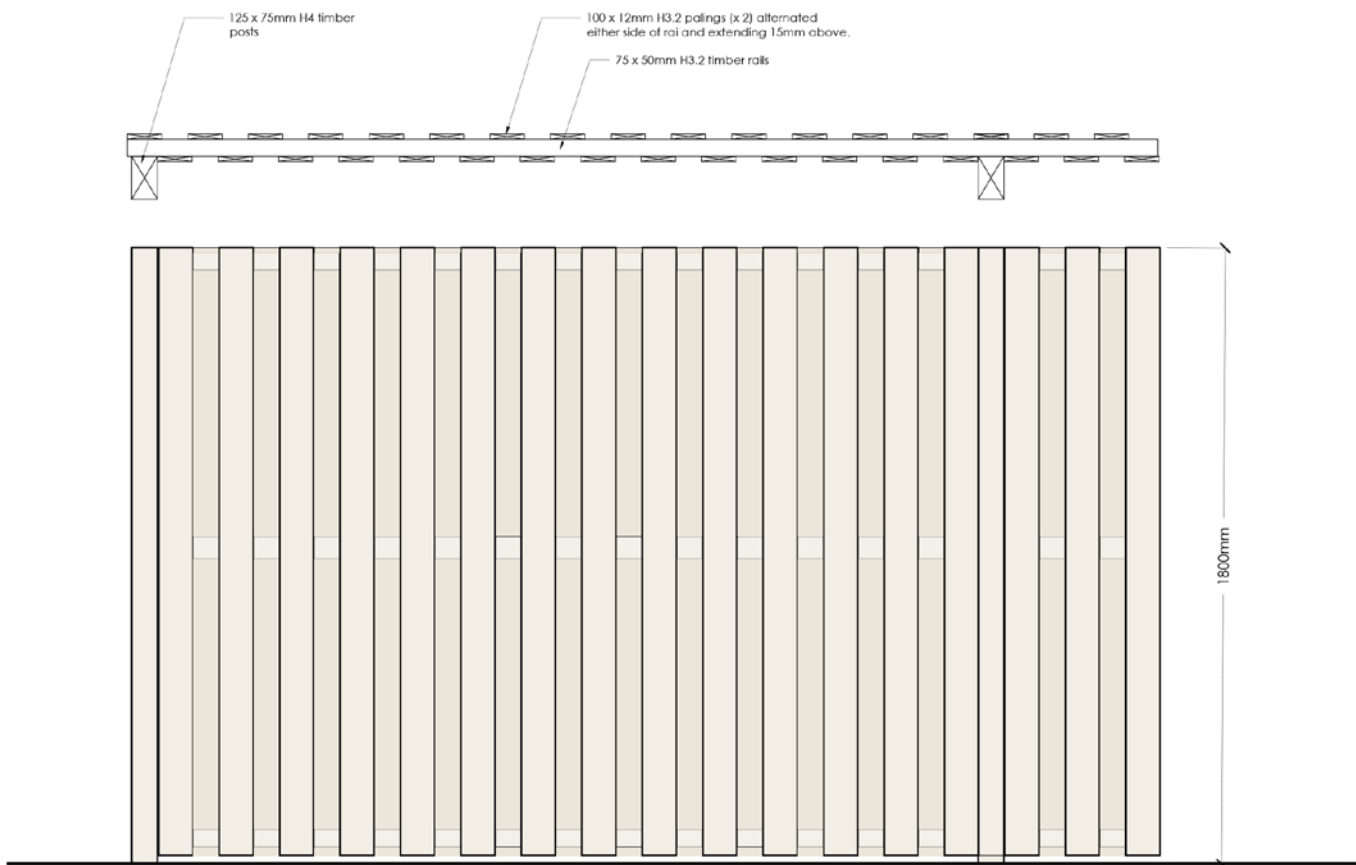
FENCING TYPOLOGY | Lot Fencing: Solid

SOLID FENCE: ACCEPTABLE SOLUTIONS

SOLID TIMBER STYLE A
Suitable for Side Rear onto Neighbour.



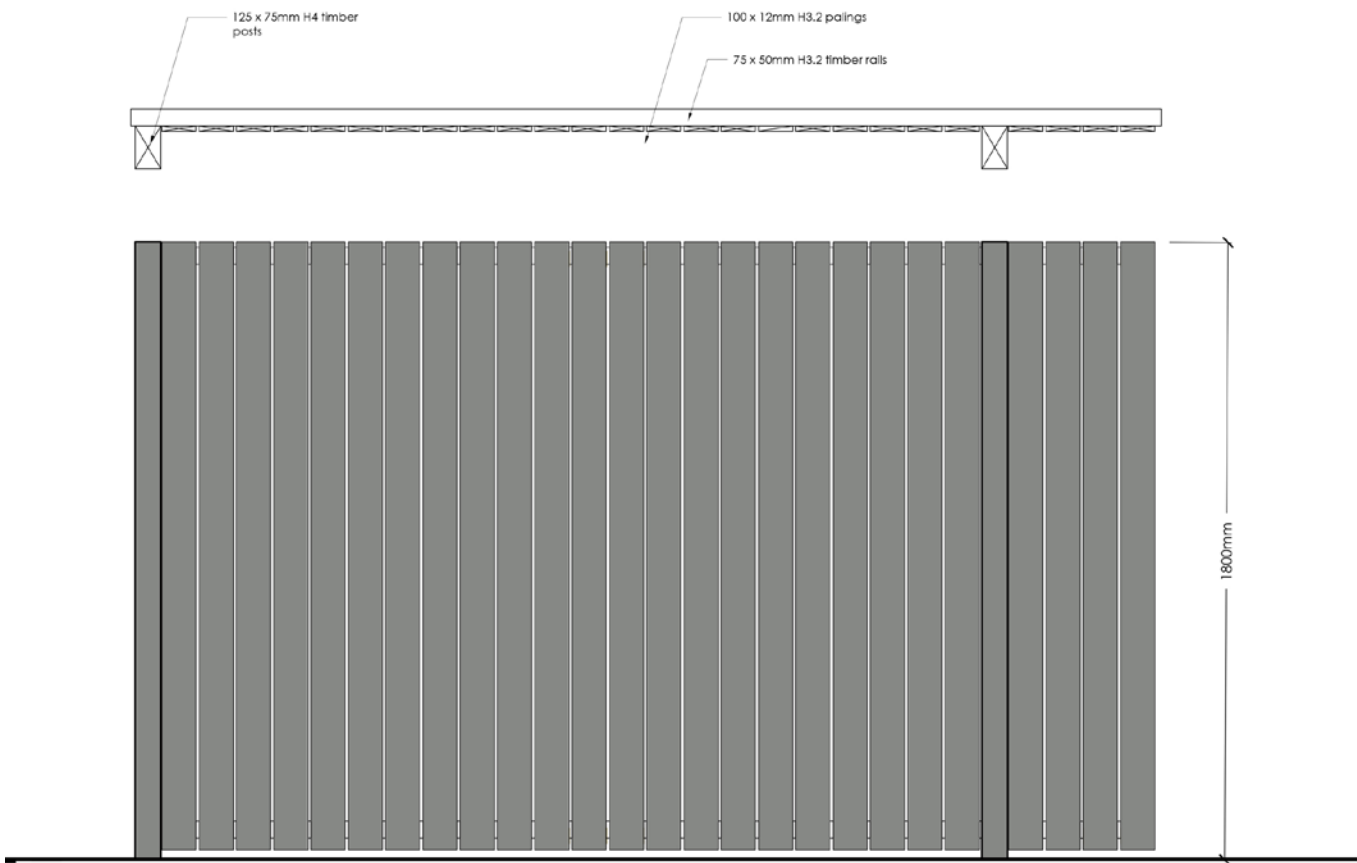
Inspiration image



SOLID TIMBER STYLE B
Suitable for Side Rear onto Neighbour.



Inspiration image





halswell commons

RESERVES & STREETSCAPES FOR
CONSENT

Date: 17/08/16 | REV A | File E16005

rough & milne landscape architects

In association with



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GREENSPACE | Overview

LEGEND

Greenspace

Greenspace/Reserve

Major node

Minor node

Multi-use Space

Living Street

Laneway (private ROW)

Edge Lanes

Vehicles, pedestrian, cycle

Pedestrian and cycle only

Bollards

Parking

Designated carparking

Numbers shown

Multi-use space carparking:

Parking with informal recreation or greenspace.

DESIGN THEME

Each section of reserve space represents a part of the gradient from heritage values through to natural or ecological landscape values.

The overarching concept that binds these values together is that of the 'kiwi garden.' Spatial design responds to our uniquely New Zealand values; what we need and want from our outdoor public spaces.

MEADOWLANDS PRECINCT

- A

Heritage influence based around homestead and stables.

THE GREENWAY - STAGE 1A

(REFER TO PAGE 4)

Heritage and horse racing influence includes a grove of horse chestnuts and playground which expresses aspects of the Nevele R Stud.

- B

Playground themed on the celebration of race day.

THE GREENWAY - STAGE 4

(REFER TO PAGE 5)

Production themed space contains a meeting place and activity area and spaces for smaller community gardens.

- C

Productive garden based on illustrating Ngai Tahu horticulture. Storage shed.
- D

The Green: Community activity area, orchards, meeting space.
- E

Productive garden illustrating Chinese horticultural practices. Storage shed.

THE COMMONS - STAGE 4

(REFER TO PAGE 6)

- F

A major focal point, The Commons connects the north Greenway to the south of the site. It provides a large open space for play and recreation, as well as purpose built playground and community facilities.



GREENSPACE | Master Plan

GREENWAY STAGE 1A
(REFER TO PAGE 4)

The northern section of the Greenway is inspired by the site's most recent use as a standard-bred horse racing and breeding facility, called 'Sreydon Lodge'. This includes structured planting in a checkerboard pattern and a central play space which will be designed to accommodate toddlers. Pockets of grassed open-space provide opportunity for informal recreation and play. The reserve is bordered to the west by an Edge Lane: a shared pedestrian/vehicular space which provides a link North-South through the site.

GREENWAY STAGE 4 AND LIVING STREET
(REFER TO PAGE 5)

This section of the Greenway is designed to reflect the former rural context of the area. Horticulture was important for Maori; Ngai Tahu traveled through the area, with Banks Peninsula being the southern limit for growing kumara. Fertile loess soils meant Halswell contributed a good proportion of vegetables, meat, grains and dairy for the city in early European times. This influence is reflected in two large community garden areas which will consist of raised planters, storage sheds and compost bins. A central social space provides an area for residents to gather including a multi-purpose hardstand for informal games and play.

THE COMMONS
(REFER TO PAGE 6)

The northern Greenway feeds into the Commons: a neighbourhood park offering a large kick-about area, playground and a community building. A large gravel multi-purpose space is provided adjacent the community building with seating terraces. Mounding and planting to the North of the building and play space provides a buffer for the apartment and residents to the North.



- LEGEND
- Proposed Trees
 - Play Area 1- Greenway Stage 1A
 - Play Area 2- Greenway Stage 4
 - Play Area 3- The Commons
 - Road
 - Paved parking area
 - Plain footpath
 - Feature Paving 1
 - Feature Paving 2
 - Gravel Surfacing
 - Raised Gardens

RESERVES MASTER PLAN-
NOT TO SCALE

GREENSPACE | Stage 1A Greenway

STAGE 1A GREENWAY CONCEPT PRINCIPLES

THEME/INTENT

The theme for the Northern section of Greenway reflects the equine history of the site with a strong checkerboard structure inspired by Spreydon Lodge's racing silks. The Greenway provides a strong North-South linkage through the site, this (Stage 1A) Greenway section forms the transition between Meadowlands Precinct to the North and the production theme of the central Greenway to the South. Through the centre of the reserve there will be various landscape features and information points that evoke and inform the history of the site.

PLAYSPACE CONCEPT

- Theme - 'A day at the races', large oversized flowers and bright colours.
- Age group- Toddler
- Number of play items-
 - 4-6 small play elements
 - Large flower shade structures to give toddlers an Alice in Wonderland experience.
- Other furniture elements-
 - Bench seats
 - Rubbish bin

PLANTING CONCEPT

- Large deciduous heritage tree species planted in formal groves. At the north end of the reserve, a grove of horse chestnuts (*Aesculus hippocastanum*) is planted as a link to the historic land use and also to mitigate the impact of the car park to the north.
- Under-planting to a max of 1m in height of bright and colourful flowering plant species, in particular around the playground.
- Planting between the lots and the Edge Lane is proposed to become an extension of the lot gardens and continue the heritage style planting of colourful flowers and cottage style plants.



MULTI USE SPACE | Living Street



LIVING STREET CONCEPT PRINCIPLES

THEME/INTENT

Living streets are road corridors which are intended to act as an extension of the public open space network whilst providing the functional requirements of the road reserve e.g. parking, bin pickup areas and access. This is achieved by creating multi-use hardstand areas which provide informal recreation opportunities without prohibiting access or parking. Complementing this initiative, amenity and edible planting within these streets creates a pleasant environment for passive recreation opportunities.

Living Streets are broken into two sections;

- **ENTRY ZONE**
6.0m wide carriageway with parking for 5 cars and a 2.0m wide backing and recycling collection strip opposite.
- **LIVING ZONE**
Broader, free form multipurpose space at Reserve end with seating, maneuvering and parking space and play opportunities

MATERIALS

Carriageway Material: Asphalt

Parking Material: Fine chipseal

Entry Thresholds: Threshold a mix of pavers and stone setts

Laneway Thresholds: Exposed aggregate concrete

PLANTING CONCEPT

- Small/medium productive trees
- Planting includes some amenity and native species but a focus on annual and perennial productive planting crops



A- LIVING STREET TYPICAL SECTION - 1:100 @ A3



B- LIVING STREET TYPICAL SECTION- 1:100 @ A3

MULTI USE SPACE | Edge Lanes

EDGE LANE CONCEPT PRINCIPLES

THEME/INTENT

Edge Lanes provide access to lots fronting the Greenway, acting as an extension of the Greenway and ensuring edge activation of these spaces.

There are two types of Edge Lanes along the Greenway;

- Vehicular Edge Lane- a shared vehicle and pedestrian/cycle access route with slip-lanes for parking.
- Pedestrian/Cycle Only Edge Lanes- access is restricted to cycles and pedestrians only however access to front of lots is still provided to path.

MATERIALS

Vehicle Edge Lane features include;

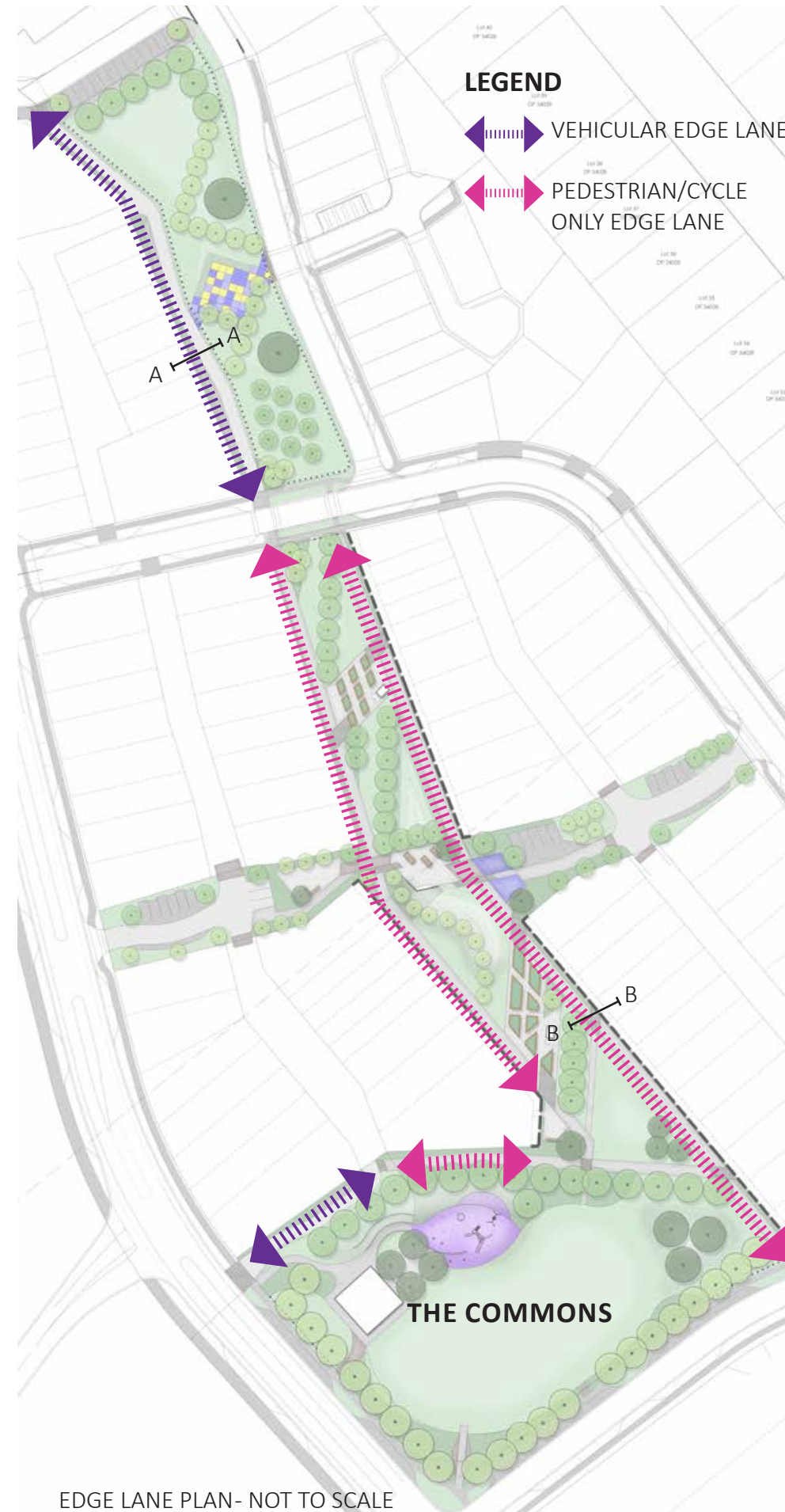
- A 3.2m wide asphalt path with slow curve for visual relief.
- 2.0m wide parking slip lanes in exposed aggregate concrete and fine chipseal

Pedestrian/Cycle Edge Lane features include;

- 3.0 wide asphalt path
- Thresholds in exposed aggregate concrete and fine chipseal.

PLANTING CONCEPT

- Minor low planting along boundaries for visual relief.
- Trees planted for screening between intensely developed housing.



EDGE LANE PLAN- NOT TO SCALE



A- INDICATIVE VEHICULAR EDGE LANE SECTION - 1:100 @ A3



B- INDICATIVE PEDESTRIAN EDGE LANE SECTION - 1:100 @ A3

MULTI USE SPACE | Laneway

LANEWAY CONCEPT PRINCIPLES

THEME/INTENT

Laneways provide vehicle and service access to the rear of lots to reduce the need for front of lot garaging and driveway access. These spaces are intended to be a shared and multi-use space.

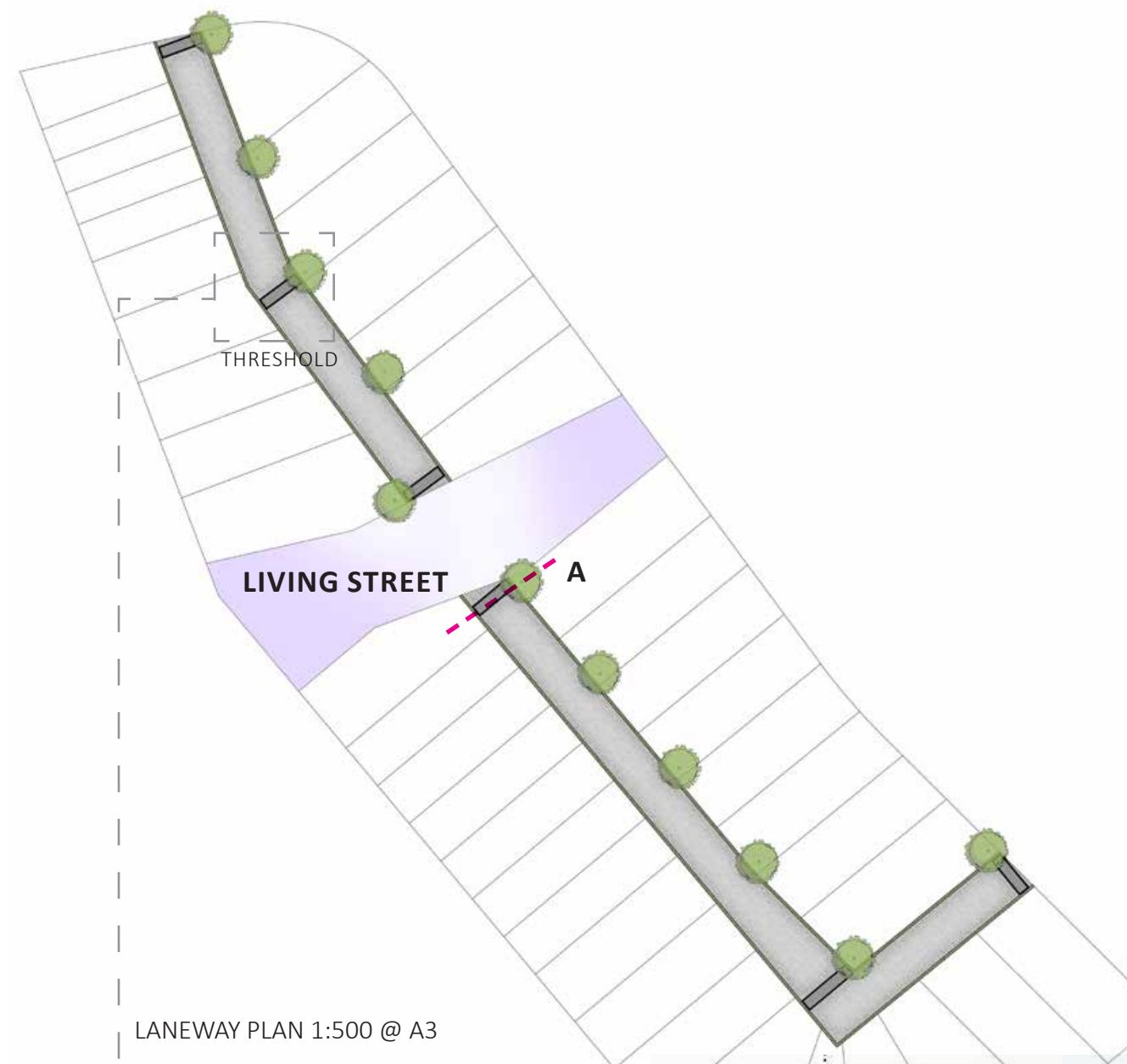
MATERIALS

Asphalt carrageway with segmental paving thresholds.

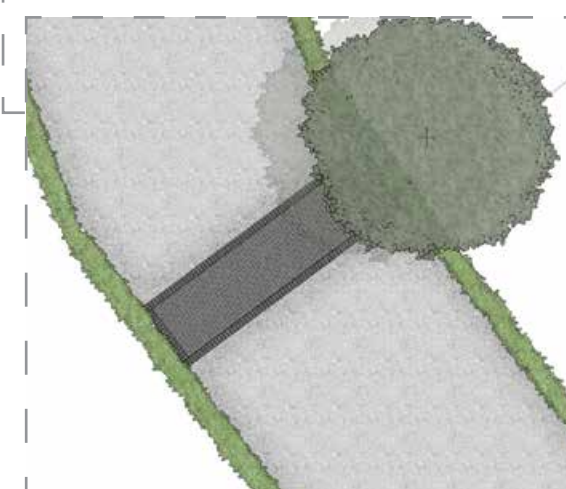
PLANTING CONCEPT

Tree Planting

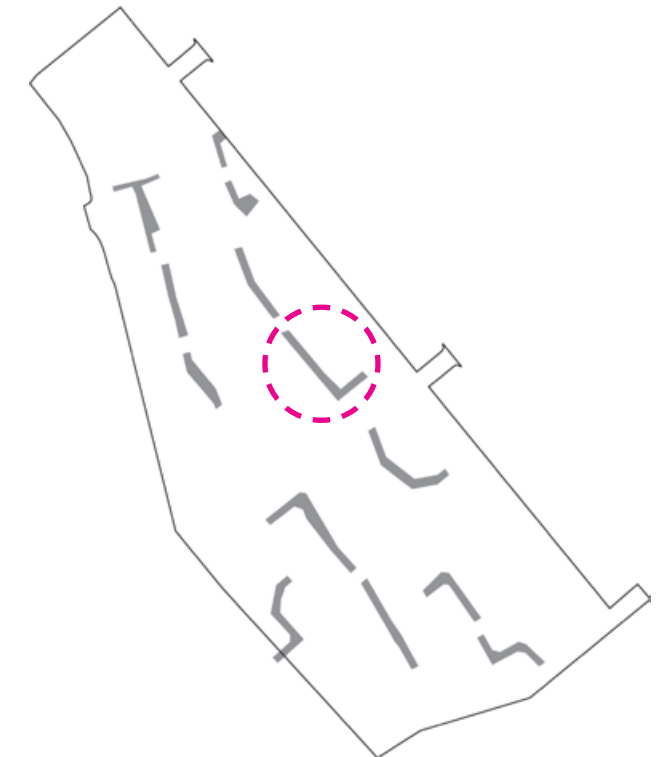
- One tree per four properties planted 1.0m from boundaries.
- Compact deciduous trees with seasonal colour.
- Low maintenance ground cover planting to soften fence lines.



LANEWAY PLAN 1:500 @ A3



THRESHOLD PLAN 1:200 @ A3



LANEWAY LOCATION MAP
(EXEMPLAR ZONE)



A- TYPICAL LANEWAY SECTION

MATERIALS | Surfaces

NON-PERMEABLE



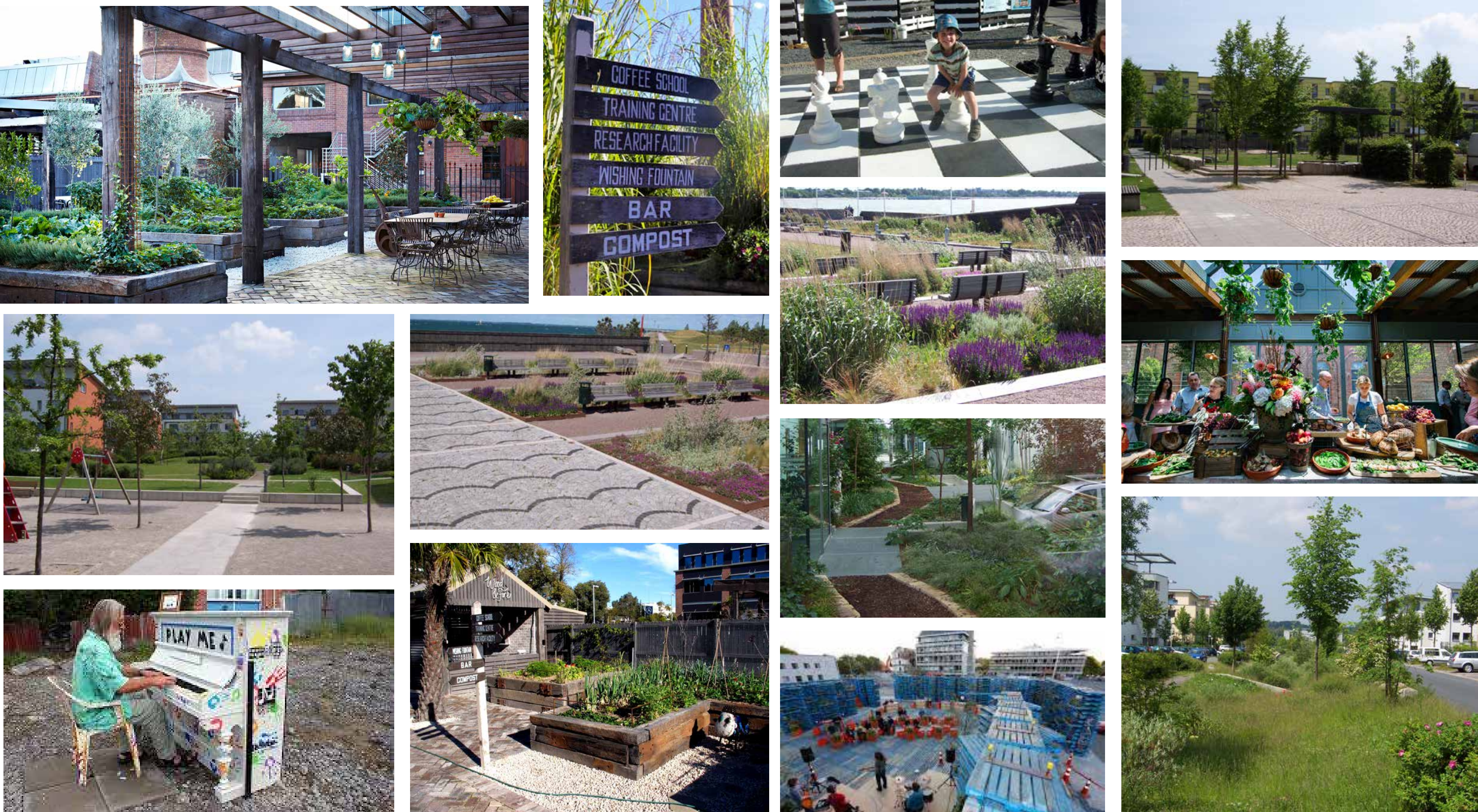
PERMEABLE



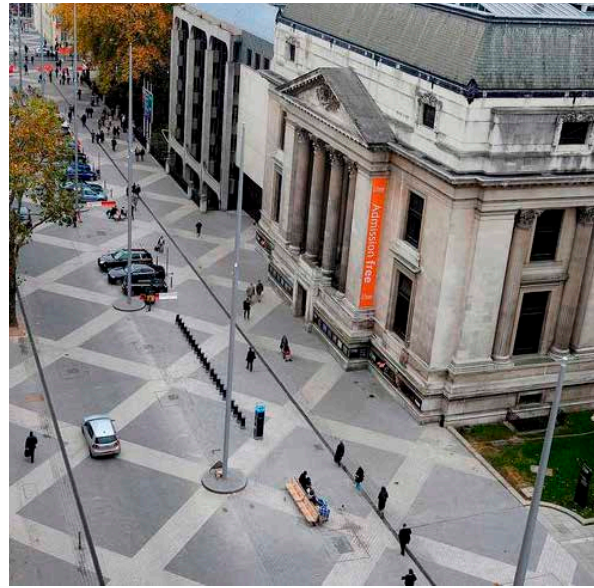
ASPHALT	HOLLAND PAVERS	GRANITE SETT	EXPOSED AGGREGATE	CRUSHER DUST / AGGROK	FINE CHIPSEAL	GRASS

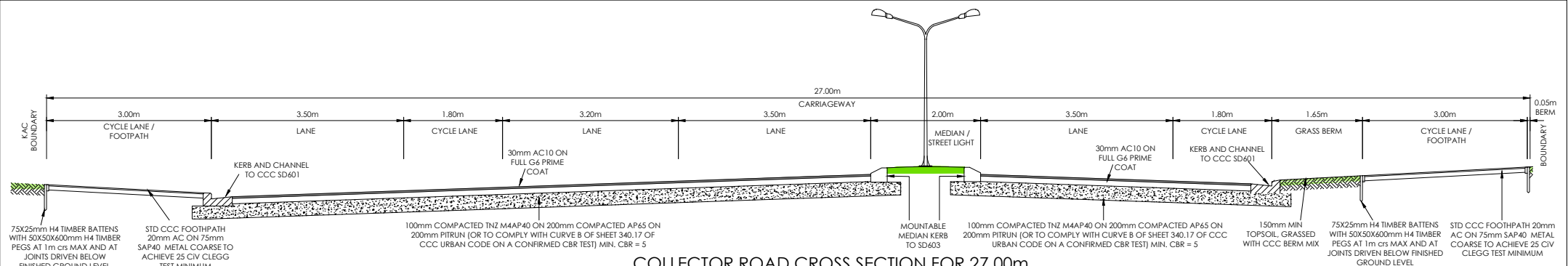
ROADS	COLLECTOR ROAD							
	LOCAL ROAD							
LIVING STREETS	TRAFFIC / PARKING							
	PARKING / RECREATION							
EDGE LANES	VEHICLE							
	NON VEHICLE							
RESERVES	RESERVES							

INSPIRATIONAL IMAGES | Greenspace

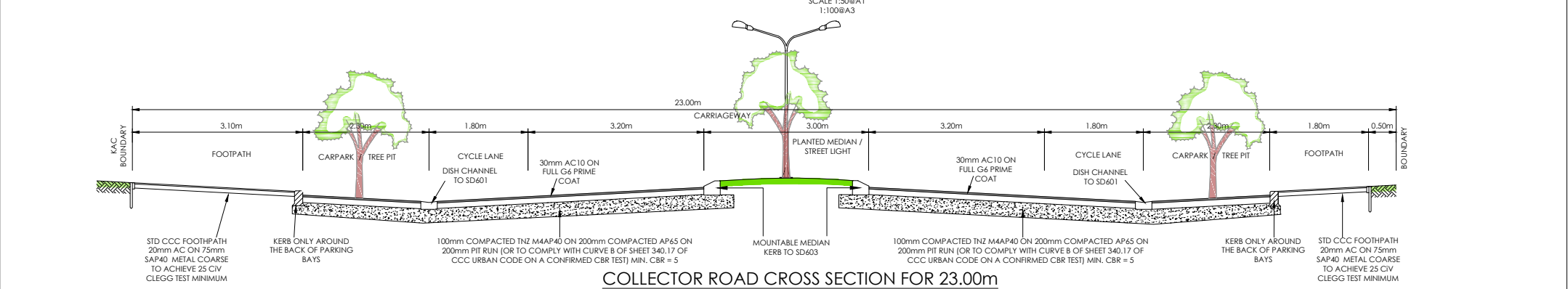


INSPIRATIONAL IMAGES | Living Streets

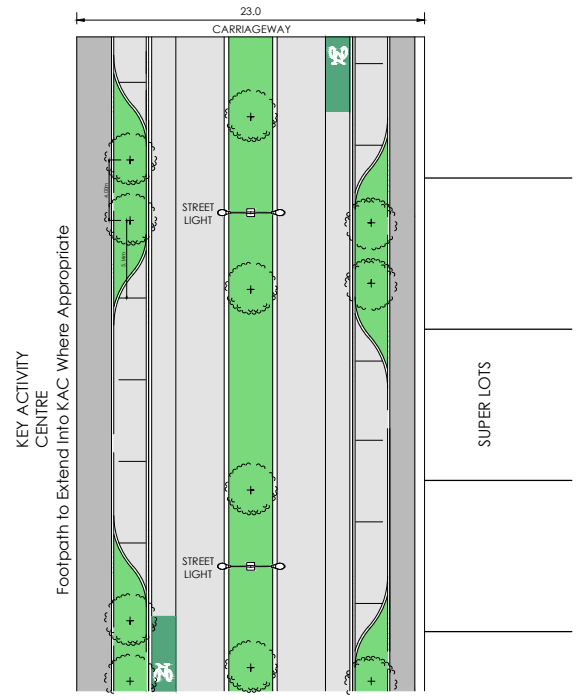




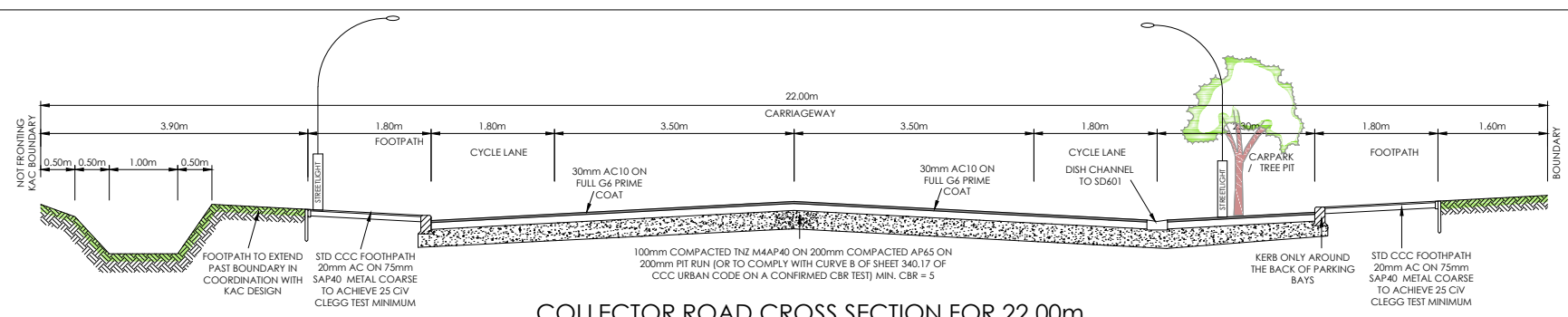
COLLECTOR ROAD CROSS SECTION FOR 27.00m
(HALSWELL ROAD TO KAC ENTRY ROAD)



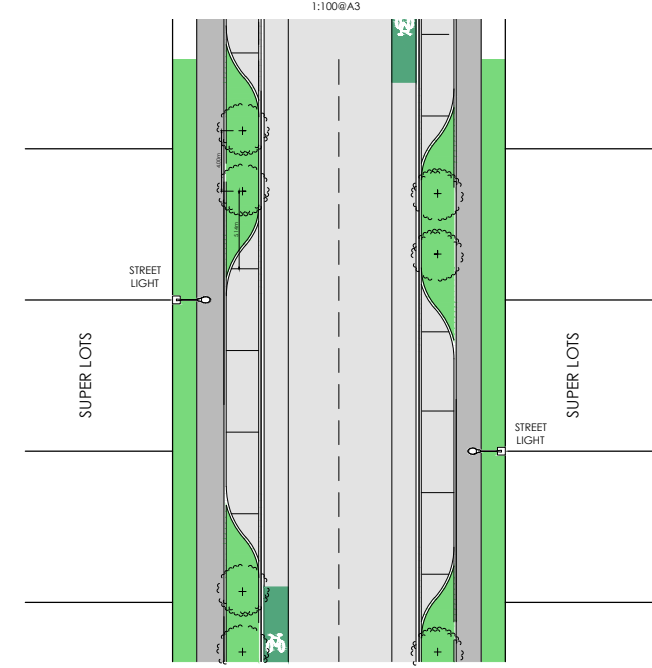
COLLECTOR ROAD CROSS SECTION FOR 23.00m
(AROUND KAC & FROM KAC ENTRY ROAD)





COLLECTOR ROAD CROSS SECTION FOR 23.00m AROUND KAC

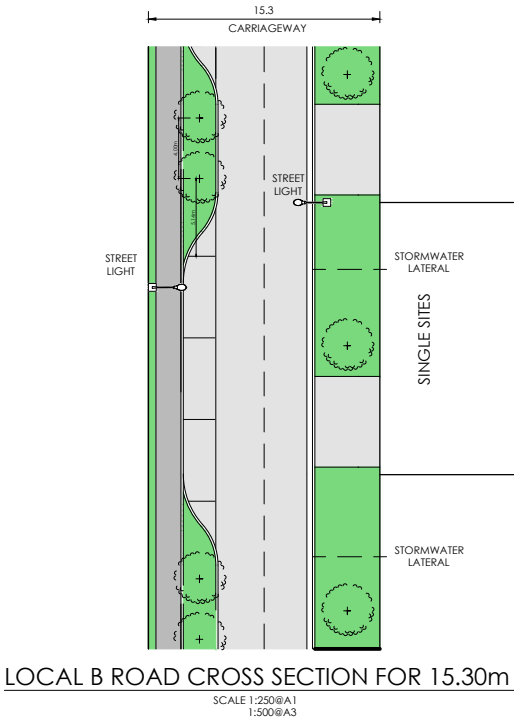
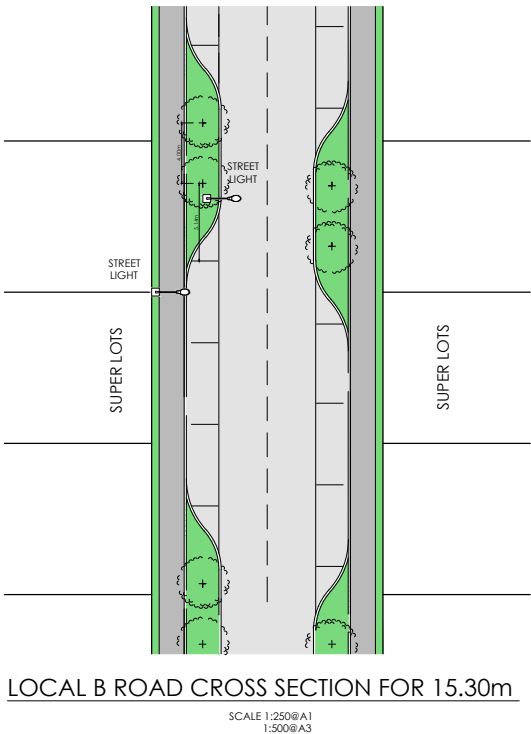
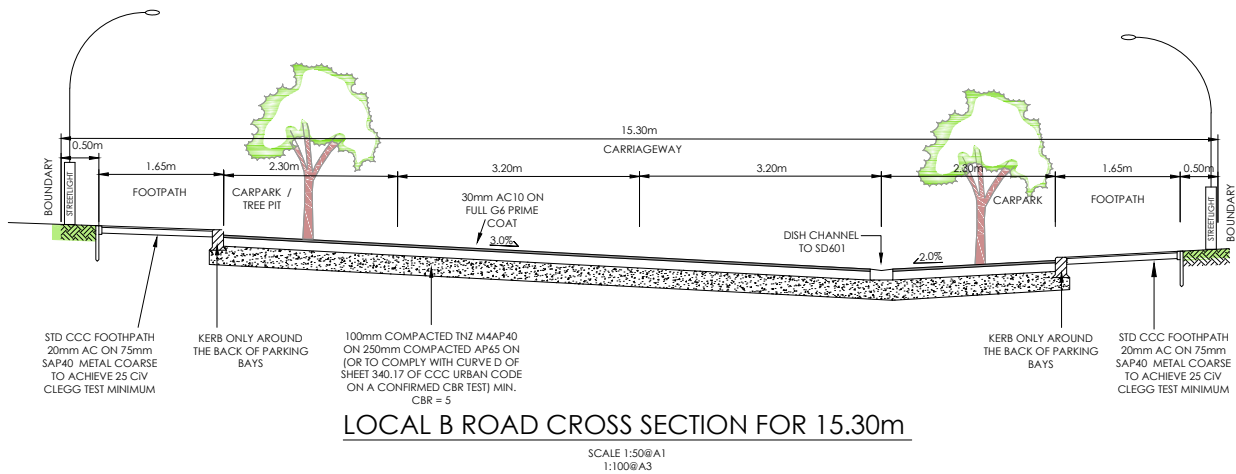
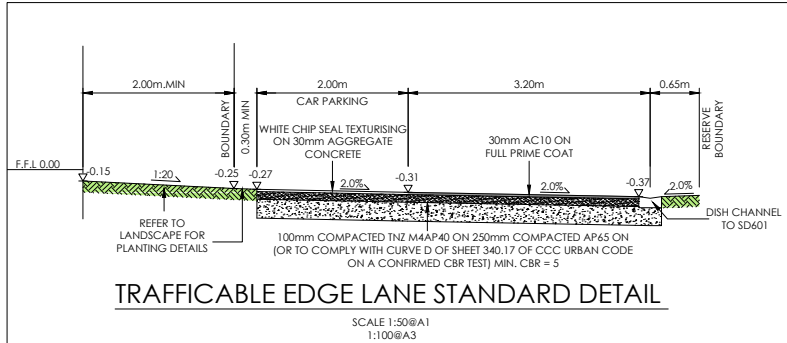
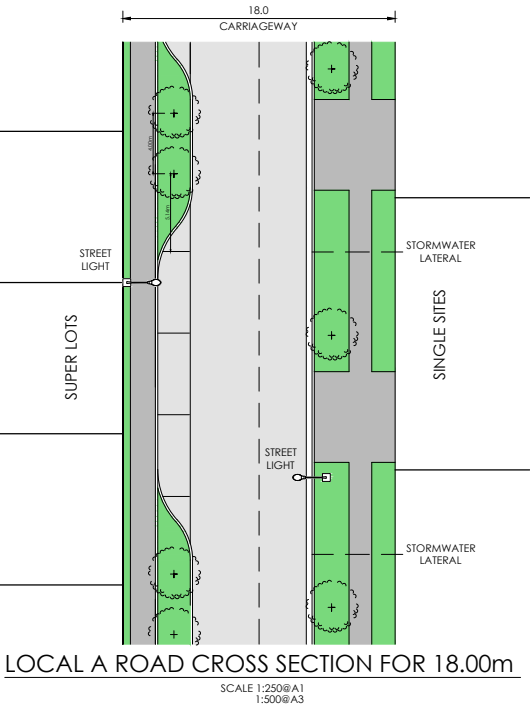
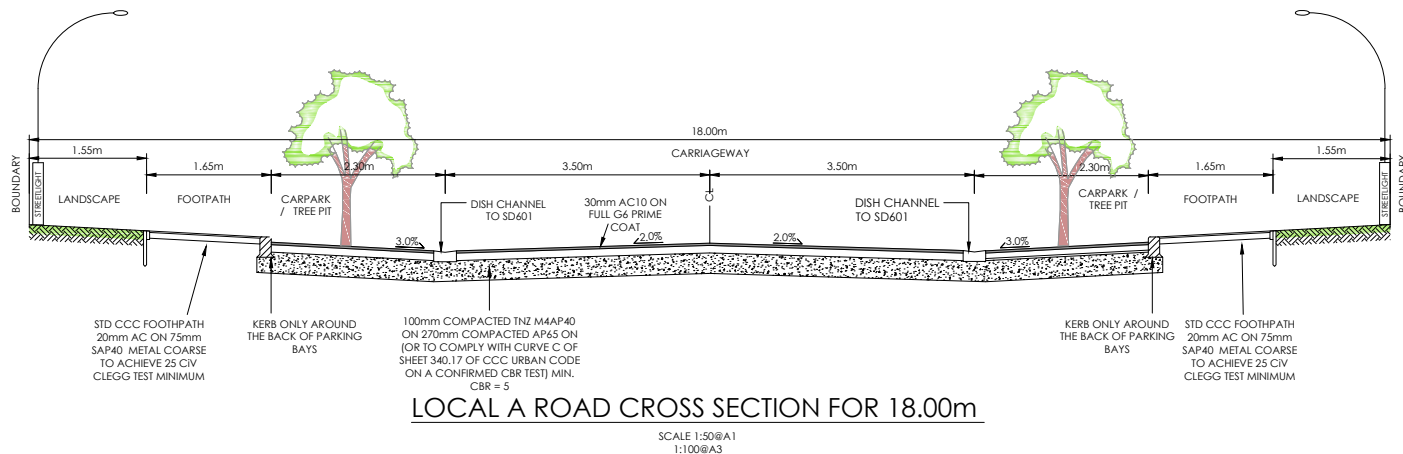


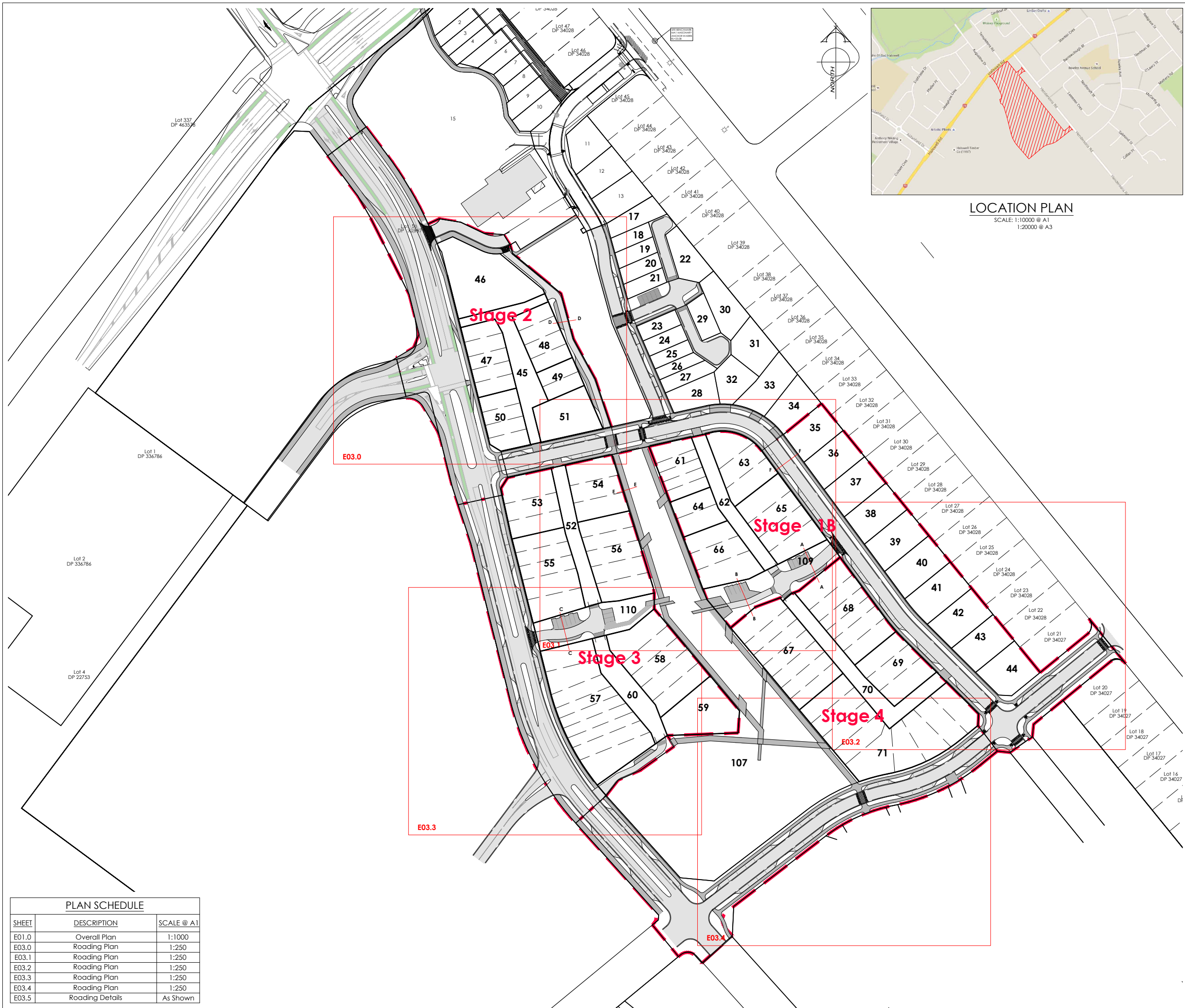
COLLECTOR ROAD CROSS SECTION FOR 22.00m



COLLECTOR ROAD CROSS SECTION FOR 22.00m NOT OUTSIDE KAC

 116 Wrights Road P O Box 679 Christchurch 8140, New Zealand Telephone: 03 379-0793 Website: www.dls.co.nz E-mail: office@dls.co.nz	SHEET TITLE: Road Cross Section and Plan Detail	JOB TITLE: Halswell Commons Exemplar	NOTE: STREET LIGHT POSITIONS ARE INDICATIVE AND TO BE CONFIRMED DURING DETAILED DESIGN.		
	DRAWING STATUS: For Consent	SCALE: As Shown DATE: March 2017			REVISION:
		CAD FILE: J:\1843\UBCON\Neighbourhood Plan R10.dwg			
		DRAWING No: E.18948 SHEET No: SH1			R10





LOCATION PLAN
SCALE: 1:10000 @ A1
1:20000 @ A3

AMENDMENTS :		
AMENDMENT	DATE	DESCRIPTION
R10	03/03/17	REVISED DEVELOPMENT LOTS

- NOTES:
- ALL WORKS IN ACCORDANCE WITH CCC IDS AND CSS PARTS 1-7 CURRENT ISSUE.
 - ALL PLANS ARE TO BE READ AND DISTRIBUTED AS A COMPLETE SET. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION.
 - ELECTRICITY & TELECOM SERVICES NOT SHOWN. REFER TO ELECTRICAL & COMMUNICATION PLANS FOR DUCT LOCATIONS.
 - TRENCHING AND INSTALLATION OF POWER AND TELECOM SERVICES TO BE PROVIDED IN ACCORDANCE WITH SERVICE PROVIDERS PLANS AND SPECIFICATIONS.
 - EXISTING SERVICES HAVE BEEN DIGITISED FROM SERVICE AUTHORITY PLANS; COMPLETENESS AND ACCURACY ARE NOT GUARANTEED. ALL SERVICES TO BE FULLY SEARCHED AND PILOTTED PRIOR TO TRENCHING.
 - CONTOUR INTERVAL: 0.1m MINOR. 1.0m MAJOR.
 - ORIGIN OF LEVELS
BM. MA1 RL=23.08 LOCATED IN TOP OF KERB IN LINE WITH NEW SITE ENTRANCE ON HENDERSONS ROAD
LEVELS IN TERMS OF CHRISTCHURCH DRAINAGE DATUM.
POST JUNE EMERGENCY LEVELS
 - CONTROL OF SW, SEDIMENT AND DUST ON SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL ROW AND DRIVEWAYS ARE TO HAVE 50mm DUCTS INSTALLED FOR COMMUNICATIONS AND POWER SUPPLY.
 - ALL DRAINAGE AND WATER SUPPLY WORKS UP ROW 1 TO BE CARRIED OUT BY A DRAINAGE AND WATER INSTALLER REGISTERED UNDER THE PLUMBERS, GASFITTERS AND DRAINLAYERS BOARD.

LEGEND :			
EXISTING LIGHTING			
PROPOSED LIGHTING			
SANITARY SEWER CONCEPT			
SEWER PRESSURE MAIN CONCEPT			
STORMWATER CONCEPT			
STORMWATER SWALE CONCEPT			
WATER CONCEPT			
KERB			
MAJOR CONTOUR 1.0m			
MINOR CONTOUR 0.1m			

	NAME	SIGNED	DATE
DESIGNED BY	ADAM LILL		
CHECKED BY	ANDY HALL		



DAVIE LOVELL-SMITH
PLANNING SURVEYING ENGINEERING

116 Wrights Road P O Box 679 Christchurch 8140. New Zealand
Telephone: 03 379-0793 Website: www.dls.co.nz E-mail: office@dls.co.nz

JOB TITLE:
**Halswell Commons
STAGE 1B - STAGE 4**

SHEET TITLE:
Overall Roding Plan

DRAWING STATUS
For Subdivision Consent

SCALE : 1:1000@A1 1:2000@A3	DATE : March 2017	
CAD FILE : J:\18857\Eng\Drawings\18857_E01_STAGE 1 and 2.dwg		DRAWN : AMA
DRAWING No : E.19005	SHEET No : E01.0	REVISION : R10

PLAN SCHEDULE		
SHEET	DESCRIPTION	SCALE @ A1
E01.0	Overall Plan	1:1000
E03.0	Roding Plan	1:250
E03.1	Roding Plan	1:250
E03.2	Roding Plan	1:250
E03.3	Roding Plan	1:250
E03.4	Roding Plan	1:250
E03.5	Roding Details	As Shown



AMENDMENTS :

AMENDMENT	DATE	DESCRIPTION
R10	03/03/17	REVISED DEVELOPMENT LOTS

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3.

ORIGIN OF LEVELS BM, MA 1 RL=23.08 LOCATED IN TOP OF KERB IN LINE WITH NEW SITE ENTRANCE ON HENDERSONS ROAD
LEVELS IN TERMS OF CHRISTCHURCH DRAINAGE DATUM.
POST JUNE EMERGENCY LEVELS

4.

FOOTPATH BASECOURSE TESTING - MINIMUM CLEGG HAMMER VALUE OF 25 REQUIRED FOR FOOTPATHS & RESIDENTIAL CROSSINGS. - MINIMUM CLEGG HAMMER VALUE OF 35 REQUIRED FOR VEHICLE CROSSINGS.

5.

KERB & CHANNEL BASECOURSE TESTING - MINIMUM DRY DENSITY OF 2100kg/m³ WITH 75% EQUAL OR EXCEEDING 2150kg/m³.

6.

CUTDOWNS AT RESIDENTIAL PARKING AREAS TO HAVE 280mm OF CONCRETE AS PER SD611 AND CUTDOWNS IN COMMERCIAL PARKING AREAS TO HAVE 280mm OF CONCRETE WITH REINFORCEMENT AS PER SD611.

7.

ALL BERMS TO BE AND COVERED WITH A MINIMUM OF 150mm GRADE 1 TOPSOIL AND GRASSED WITH CCC BERM MIX.

8.

ELECTRICITY & TELECOM SERVICES NOT SHOWN. REFER TO ELECTRICAL & COMMUNICATION PLANS FOR DUCT LOCATIONS.

9.

ALL ROAD AREAS TO BE SURFACED USING ASPHALTIC CONCRETE, 30mm DEPTH, EXPOSED AGGREGATE CONCRETE, HOLLANDER PAVERS OR GRANITE SETTS. FOOTPATHS AND DRIVEWAYS TO BE ASPHALTIC CONCRETE TO SD607.

10.

METAL DEPTHS TO BE CONFIRMED OR INCREASED PRIOR TO COMMENCEMENT OF WORK FOLLOWING THE CHECKING OF SUBGRADE CBR ON SITE.

11.

KERBS AT INTERSECTIONS HAVE A RADIUS OF 6.0m UNLESS SHOWN OTHERWISE.

12.

ALL PAVEMENT CROSSFALLS ARE TO BE CONSTRUCTED IN ACCORDANCE SD623.

13.

TACTILE PAVERS ARE TO BE INSTALLED AS PER RTS 14 GUIDELINES FOR FACILITIES FOR THE BLIND AND VISION IMPAIRED PEDESTRIANS.

14.

ROAD BASECOURSE TESTING - MAXIMUM BENKELMAN BEAM DEFLECTION OF 2.00mm WITH 95% BELOW 1.6mm FOR ROADS AND A MAXIMUM DEFLECTION OF 2.5mm WITH 95% BELOW 2.00mm FOR EDGE LANES AND LIVING STREETS.

15.

ALL ROW AND DRIVEWAYS ARE TO HAVE 50mm DUCTS INSTALLED FOR COMMUNICATIONS AND POWER SUPPLY.

16.

FULL PRIME COAT IS TO BE A FIRST COAT G6 CHIP SEAL.

LEGEND :

CUTDOWN KERB

AC SEAL

EXPOSED AGGREGATE CONCRETE

FOOTPATH & DRIVEWAY AC

EXISTING LIGHTING

COBBLES

GRANITE

CHIP TEXTURIZED AC

NAME	SIGNED	DATE
DESIGNED BY	ADAM LILL	
CHECKED BY	ANDY HALL	

DAVIE LOVELL-SMITH

PLANNING SURVEYING ENGINEERING

116 Wrights Road

P O Box 679

Christchurch 8140, New Zealand

Telephone: 03 379-0793

Website: www.dls.co.nz

E-mail: office@dls.co.nz

JOB TITLE:

Halswell Commons
Stage 1B - Stage 4

SHEET TITLE:

Roading Plan

DRAWING STATUS

For Subdivision Consent

SCALE :

1:250@A1
1:500@A3

DATE : March 2017

CAD FILE :

J:\18857\Eng\Drawings\18857_E01_STAGE 1 and 2.dwg

DRAWN : AMA

DRAWING No :

E.19005

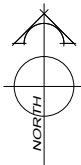
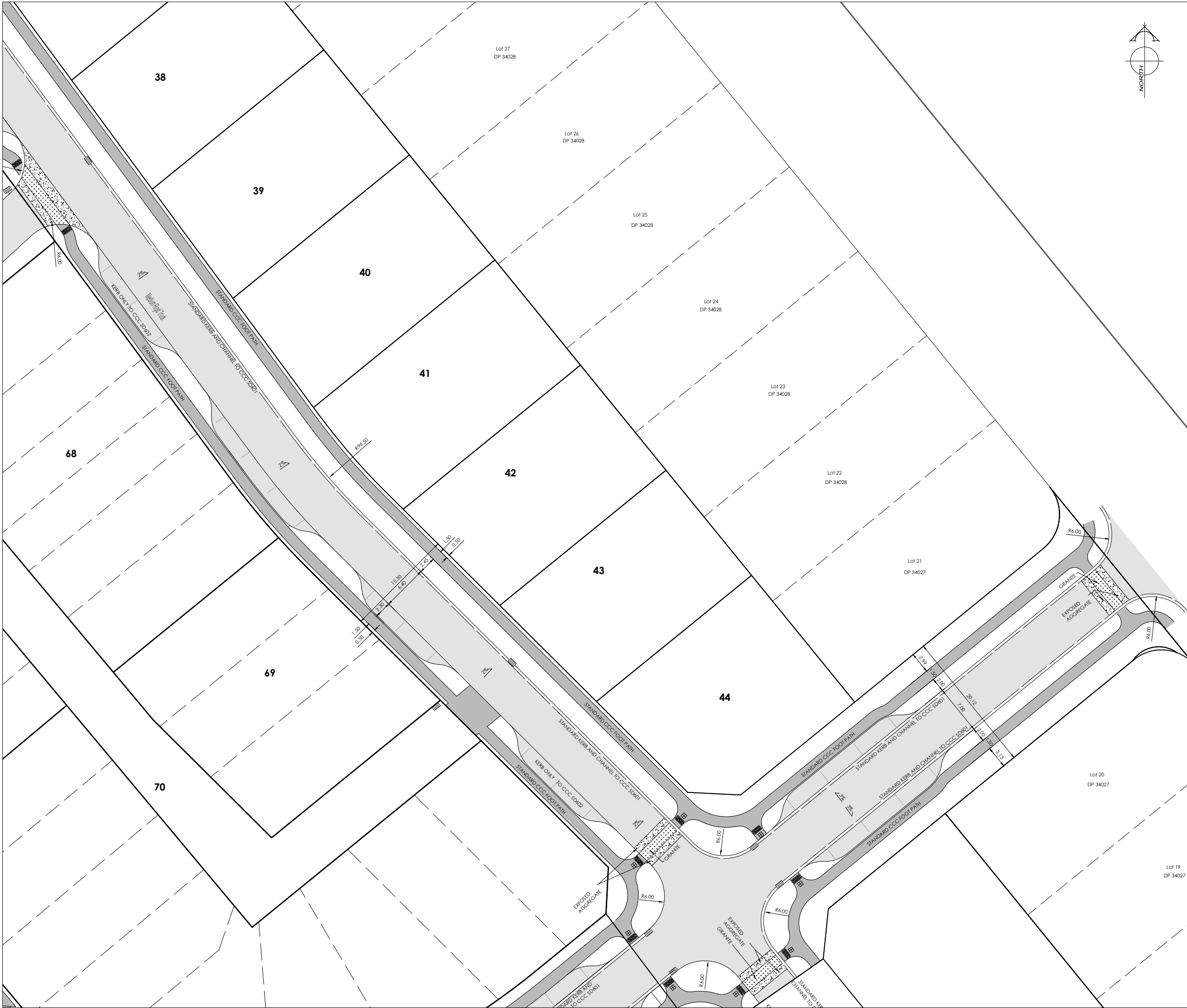
SHEET No:

E03.1

REVISION :

R10

Christchurch City Council | Approved Resource Consent Plan | RMA/2016/2904A AND RMA/2016/2908A | 30/05/2017 | Page 35 of 55



AMENDMENTS :		
AMENDMENT	DATE	DESCRIPTION
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 - KERBS AT INTERSECTIONS HAVE A RADIUS OF 6.0m UNLESS SHOWN OTHERWISE.
 - ALL PAVEMENT CROSSFALLS ARE TO BE CONSTRUCTED IN ACCORDANCE SD623.
 - TACTILE PAVERS ARE TO BE INSTALLED AS PER RTS 14 GUIDELINES FOR FACILITIES FOR THE BLIND AND VISION IMPAIRED PEDESTRIANS.
 - ROAD BASECOURSE TESTING - MAXIMUM BENKELMAN BEAM DEFLECTION OF 2.00mm WITH 95% BELOW 1.6mm FOR ROADS AND A MAXIMUM DEFLECTION OF 2.5mm WITH 95% BELOW 2.00mm FOR EDGE LANES AND LIVING STREETS.
 - ALL ROW AND DRIVEWAYS ARE TO HAVE 50mm DUCTS INSTALLED FOR COMMUNICATIONS AND POWER SUPPLY.
 - FULL PRIME COAT IS TO BE A FIRST COAT G6 CHIP SEAL.

LEGEND :

EXISTING LIGHTING

CUTDOWN KERB

AC SEAL

EXPOSED AGGREGATE CONCRETE

FOOTPATH & DRIVEWAY AC

COBBLES

GRANITE

CHIP TEXTURIZED AC

NAME	SIGNED	DATE
DESIGNED BY	ADAM LILL	
CHECKED BY	ANDY HALL	

DAVIE LOVELL-SMITH
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JOB TITLE:

**Halswell Commons
Stage 1B - Stage 4**

SHEET TITLE:

Roading Plan

DRAWING STATUS

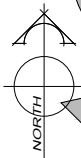
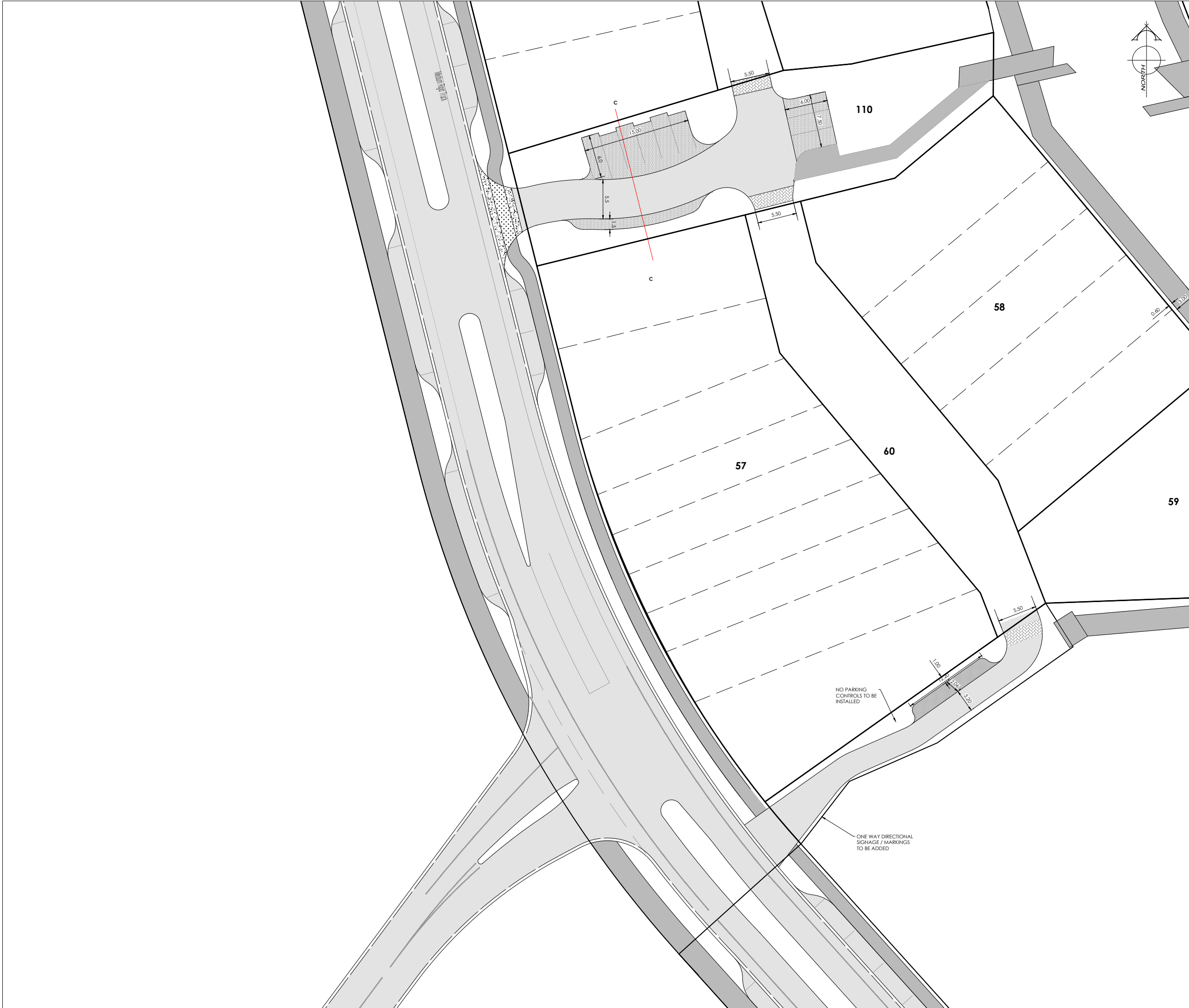
For Subdivision Consent

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DATE : March 2017

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DRAWING No : **E.19005** SHEET No: **E03.2** REVISION : **R10**



AMENDMENTS :		
AMENDMENT	DATE	DESCRIPTION
R10	03/03/17	REVISED DEVELOPMENT LOTS

- NOTES :
- ALL WORKS IN ACCORDANCE WITH CCC IDS AND CSS PARTS 1-7 CURRENT ISSUE.
 - ALL PLANS ARE TO BE READ AND DISTRIBUTED AS A COMPLETE SET. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION.
 - ORIGIN OF LEVELS BM. MA1 RL=23.08 LOCATED IN TOP OF KERB IN LINE WITH NEW SITE ENTRANCE ON HENDERSONS ROAD
LEVELS IN TERMS OF CHRISTCHURCH DRAINAGE DATUM.
POST JUNE EMERGENCY LEVELS
 - FOOTPATH BASECOURSE TESTING - MINIMUM CLEGG HAMMER VALUE OF 25 REQUIRED FOR FOOTPATHS & RESIDENTIAL CROSSINGS. - MINIMUM CLEGG HAMMER VALUE OF 35 REQUIRED FOR VEHICLE CROSSINGS.
 - KERB & CHANNEL BASECOURSE TESTING - MINIMUM DRY DENSITY OF 2100kg/m³ WITH 75% EQUAL OR EXCEEDING 2150kg/m³.
 - CUTDOWNS AT RESIDENTIAL PARKING AREAS TO HAVE 280mm OF CONCRETE AS PER SD611 AND CUTDOWNS IN COMMERCIAL PARKING AREAS TO HAVE 280mm OF CONCRETE WITH REINFORCEMENT AS PER SD611.
 - ALL BERMS TO BE AND COVERED WITH A MINIMUM OF 150mm GRADE 1 TOPSOIL AND GRASSED WITH CCC BERM MIX.
 - ELECTRICITY & TELECOM SERVICES NOT SHOWN. REFER TO ELECTRICAL & COMMUNICATION PLANS FOR DUCT LOCATIONS.
 - ALL ROAD AREAS TO BE SURFACED USING ASPHALTIC CONCRETE, 30mm DEPTH, EXPOSED AGGREGATE CONCRETE, HOLLANDER PAVERS OR GRANITE SETTS. FOOTPATHS AND DRIVEWAYS TO BE ASPHALTIC CONCRETE TO SD607.
 - METAL DEPTHS TO BE CONFIRMED OR INCREASED PRIOR TO COMMENCEMENT OF WORK FOLLOWING THE CHECKING OF SUBGRADE CBR ON SITE.
 - KERBS AT INTERSECTIONS HAVE A RADIUS OF 6.0m UNLESS SHOWN OTHERWISE.
 - ALL PAVEMENT CROSSFALLS ARE TO BE CONSTRUCTED IN ACCORDANCE SD623.
 - TACTILE PAVERS ARE TO BE INSTALLED AS PER RTS 14 GUIDELINES FOR FACILITIES FOR THE BLIND AND VISION -IMPAIRED PEDESTRIANS.
 - ROAD BASECOURSE TESTING - MAXIMUM BENKELMAN BEAM DEFLECTION OF 2.00mm WITH 95% BELOW 1.6mm FOR ROADS AND A MAXIMUM DEFLECTION OF 2.5mm WITH 95% BELOW 2.00mm FOR EDGE LANES AND LIVING STREETS.
 - ALL ROW AND DRIVEWAYS ARE TO HAVE 50mm DUCTS INSTALLED FOR COMMUNICATIONS AND POWER SUPPLY.
 - FULL PRIME COAT IS TO BE A FIRST COAT G6 CHIP SEAL.

LEGEND :			
EXISTING LIGHTING			
CUTDOWN KERB			
AC SEAL		COBBLES	
EXPOSED AGGREGATE CONCRETE		GRANITE	
FOOTPATH & DRIVEWAY AC		CHIP TEXTURIZED AC	
NAME	SIGNED	DATE	
DESIGNED BY	ADAM LILL		
CHECKED BY	ANDY HALL		

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SCALE : 1:250@A1
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DRAWN : AMA

DRAWING No : **E.19005**

SHEET No: **E03.3**

REVISION : **R10**



AMENDMENTS :

AMENDMENT	DATE	DESCRIPTION
R10	03/03/17	REVISED DEVELOPMENT LOTS

NOTES :

1.

ALL WORKS IN ACCORDANCE WITH CCC IDS AND CSS PARTS 1-7 CURRENT ISSUE.

2.

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3.

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LEVELS IN TERMS OF CHRISTCHURCH DRAINAGE DATUM.
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FOOTPATH BASECOURSE TESTING - MINIMUM CLEGG HAMMER VALUE OF 25 REQUIRED FOR FOOTPATHS & RESIDENTIAL CROSSINGS. - MINIMUM CLEGG HAMMER VALUE OF 35 REQUIRED FOR VEHICLE CROSSINGS.

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10.

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11.

KERBS AT INTERSECTIONS HAVE A RADIUS OF 6.0m UNLESS SHOWN OTHERWISE.

12.

ALL PAVEMENT CROSSFALLS ARE TO BE CONSTRUCTED IN ACCORDANCE SD623.

13.

TACTILE PAVERS ARE TO BE INSTALLED AS PER RTS 14 GUIDELINES FOR FACILITIES FOR THE BLIND AND VISION -IMPAIRED PEDESTRIANS.

14.

ROAD BASECOURSE TESTING - MAXIMUM BENKELMAN BEAM DEFLECTION OF 2.00mm WITH 95% BELOW 1.6mm FOR ROADS AND A MAXIMUM DEFLECTION OF 2.5mm WITH 95% BELOW 2.00mm FOR EDGE LANES AND LIVING STREETS.

15.

ALL ROW AND DRIVEWAYS ARE TO HAVE 50mm DUCTS INSTALLED FOR COMMUNICATIONS AND POWER SUPPLY.

16.

FULL PRIME COAT IS TO BE A FIRST COAT G6 CHIP SEAL.

LEGEND :

EXISTING LIGHTING

CUTDOWN KERB

AC SEAL

EXPOSED AGGREGATE CONCRETE

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DRAWING No :

E.19005

SHEET No:

E03.4

REVISION :

R10

Christchurch City Council | Approved Resource Consent Plan | RMA/2016/2904A AND RMA/2016/2908A | 30/05/2017 | Page 38 of 55



halswell commons

FRONT LOT LANDSCAPE
GUIDELINES:
Blocks 6 - 10

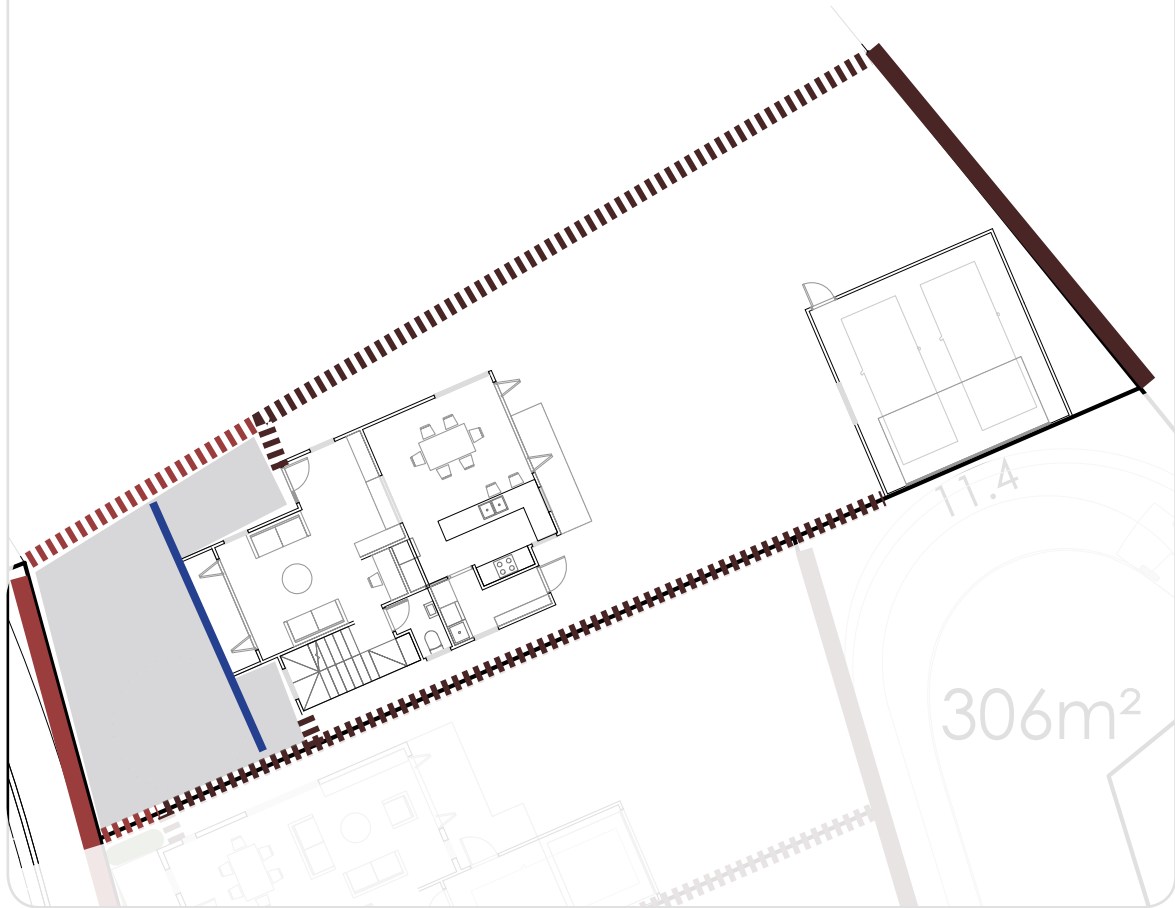
Date: 03/03/17 | File E16005

rough & milne landscape architects

In association with



Figure A Spatial Representation of a Typical Front Lot



- Building Setback
- Front lot area
- Front boundary treatment
- Side front boundary treatment
- Side rear boundary treatment
- Back boundary treatment

Introduction

This document contains landscape guidelines for planting residential front lots in Blocks 6 - 10 of the Exemplar Zone in Halswell Commons.

The landscape guidelines are tailored to both building typology and setback. A front lot includes the area between the front boundary and the front facing walls of the building (as indicated in Figure A). Building placement is to be confirmed by the developer in relation to setback allowances (illustrated on page 1).

Landscape guidelines are separated into areas defined as 'front landscape zone', 'side landscape zone', 'boundary treatment,' and include tree species where appropriate. If space allows, one tree per front lot is mandatory, and it is recommended building footprints are designed to accommodate this. A second tree is required in back yards. Beyond the 1.5m 'front landscape zone,' sites may include a 'general landscape zone' which allows buyers to choose the treatment as long as it is permeable (refer to Landscape Zone Treatment Table).

It is recommended that plants are chosen from the plant palette as this corresponds to the street frontage; this ensures front lots and street planting is complementary and contributes to a more cohesive site character.

Fencing typologies are included for residential lots.

Contents

FRONT LANDSCAPE GUIDELINES:	
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Terrace Front Yard.....	4
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Permeable.....	9
Semi-Permeable.....	10
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FRONT LANDSCAPE TYPOLOGY | Lot Classification Plan



Boundary Legend

- Exemplar Zone boundary
- Block boundary
- Front lot boundary

Setback allowances

All lots have a minimum setback of 2m

- Max 3m
- Max 4m

Front Lot Typology Legend

For the purpose of this document, the housing typologies have been grouped into the following categories based on house type;

- STAND ALONE HOUSE**
 - Front Landscape
 - Refer to page 2
- DUPLEX HOUSE**
 - Front Landscape
 - Refer to page 3
- TERRACE HOUSE**
 - Front Landscape
 - Refer to page 4
- APARTMENT**
 - Landscape detail to be resolved at time of apartment resource consent.
 - It is recommended this document's plant palette is used as the base of landscape planting.

FRONT LANDSCAPE TYPOLOGY | Stand Alone Front Yard

GENERAL PRINCIPLES

- Landscaping will become an extension of the streetscape; enhancing street amenity and softening the built form
- Landscaping is intended to enable passive surveillance through maintaining visual permeability from house to street
- Landscaping is intended to encourage neighbourhood interaction and engagement with the street by serving as a visually shared public/private interface
- Houses shall provide direct and clear access to the street for pedestrians
- There must be one tree per front lot (see landscape zone treatments table below), and one per back yard (refer to Recommended Plant Palette on page 8)

BOUNDARY TREATMENT REQUIREMENTS			
ID	LOCATION	TREATMENT (Refer to page 16 for design guidelines)	MAX HEIGHT
F	Front onto Street or Reserve	No fence or;	N/A
		Permeable	1.2m
		Hedge	1.2m
S	Side Front	Hedge or;	1.2m
		Permeable	1.2m
R	Side Rear onto Neighbour	Solid Fence	1.8m
	Side Rear onto Street	Semi-Permeable: Type 2	1.8m
	Side Rear onto Reserve	Semi-Permeable: Type 2	1.8m
B	Back onto Laneway	No fence or;	N/A
		Hedge;	1.2m
		Permeable;	1.2m
		Semi-Permeable: Type 1	1.2m

LANDSCAPE ZONE TREATMENTS			
ID	ZONE	DESCRIPTION	TREATMENT
+	Tree	Must be planted 0.75m minimum from any boundary, and the house be laid out to be a minimum of 2.0m from the tree.	Tree required
	Front Landscape Zone	Minimum of 1.5m wide measured from front boundary. 100% treatment coverage required.	Low planting
	Side Landscape Zone	Minimum of 1m wide where possible measured from the front side boundary.	Low planting
			Medium planting
			Lawn
	General Landscape Zone	Remaining space not covered by the above. Must consist of porous surfaces.	Low planting
			Medium planting
			Lawn
			Permeable paving
			Gravel

Refer to plant palette for species lists.

EXAMPLE OF LANDSCAPE TREATMENT



FRONT LANDSCAPE TYPOLOGY | Duplex Front Yard

GENERAL PRINCIPLES

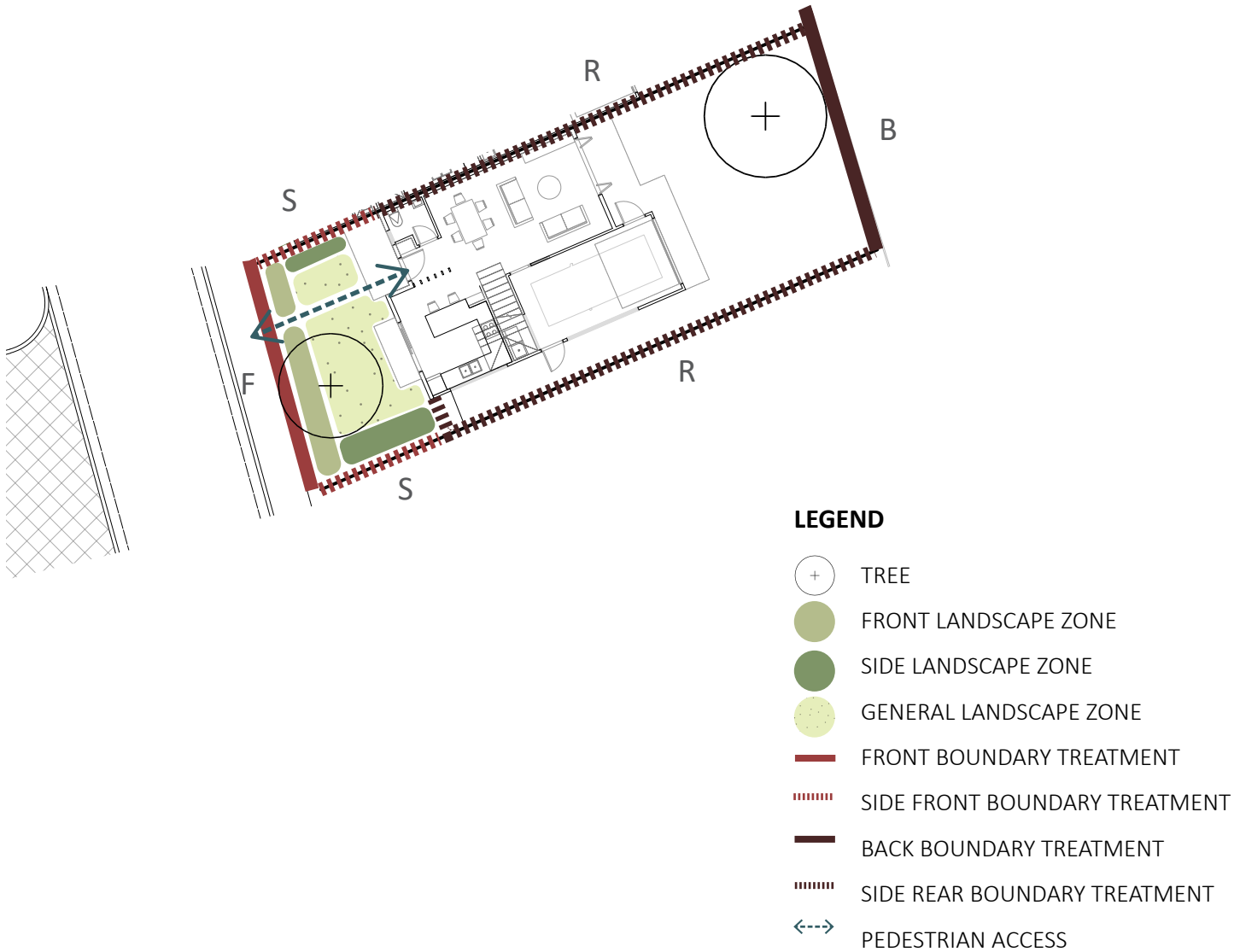
- Landscaping will become an extension of the streetscape; enhancing street amenity and softening the built form
- Landscaping is intended to enable passive surveillance through maintaining visual permeability from house to street
- Landscaping is intended to encourage neighbourhood interaction and engagement with the street by serving as a visually shared public/private interface
- Houses shall provide direct and clear access to the street for pedestrians
- There must be one tree per front lot (see landscape zone treatments table below), and one per back yard (refer to Recommended Plant Palette on page 8)

BOUNDARY TREATMENT REQUIREMENTS			
ID	LOCATION	TREATMENT (Refer to page 16 for design guidelines)	MAX HEIGHT
F	Front onto Street or Reserve	No fence or;	N/A
		Permeable	1.2m
		Hedge	1.2m
S	Side Front	Hedge or;	1.2m
		Permeable	1.2m
R	Side Rear onto Neighbour	Solid Fence	1.8m
	Side Rear onto Street	Semi-Permeable: Type 2	1.8m
	Side Rear onto Reserve	Semi-Permeable: Type 2	1.8m
B	Back onto Laneway	No fence or;	N/A
		Hedge;	1.2m
		Permeable;	1.2m
		Semi-Permeable: Type 1	1.2m

LANDSCAPE ZONE TREATMENTS			
ID	ZONE	DESCRIPTION	TREATMENT
+	Tree	Must be planted 0.75m minimum from any boundary, and the house be laid out to be a minimum of 2.0m from the tree.	Tree required
●	Front Landscape Zone	Minimum of 1.5m wide measured from front boundary. 100% treatment coverage required.	Low planting
●	Side Landscape Zone	Minimum of 1m wide where possible measured from the front side boundary.	Low planting Medium planting Lawn
●	General Landscape Zone	Remaining space not covered by the above. Must consist of porous surfaces.	Low planting Medium planting Lawn Permeable paving Gravel

Refer to plant palette for species lists.

EXAMPLE OF LANDSCAPE TREATMENT



FRONT LANDSCAPE TYPOLOGY | Terrace Front Yard

GENERAL PRINCIPLES

- Landscaping will become an extension of the streetscape; enhancing street amenity and softening the built form
- Landscaping is intended to enable passive surveillance through maintaining visual permeability from house to street
- Landscaping is intended to encourage neighbourhood interaction and engagement with the street by serving as a visually shared public/private interface
- Houses shall provide direct and clear access to the street for pedestrians
- If space allows, there must be one tree per front lot (refer to rules set out in the Landscape Zone Treatments table below), and one per back yard (refer to Recommended Plant Palette on page 8)

BOUNDARY TREATMENT REQUIREMENTS

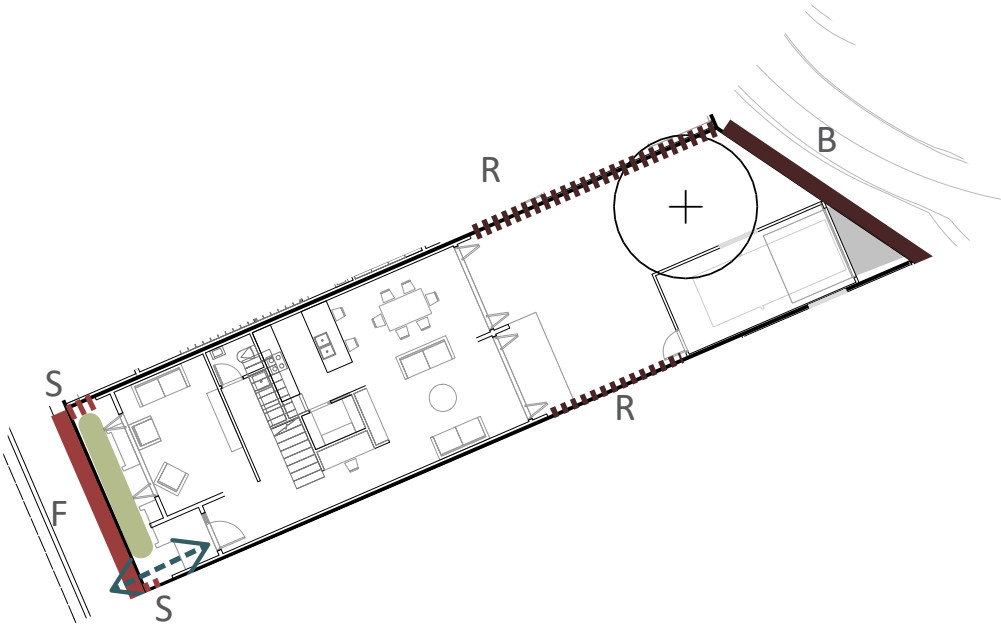
ID	LOCATION	TREATMENT (Refer to page 16 for design guidelines)	MAX HEIGHT
F	Front onto Street or Reserve	No fence or;	N/A
		Permeable	1.2m
		Hedge	1.2m
S	Side Front	Hedge or;	1.2m
		Permeable	1.2m
R	Side Rear onto Neighbour	Solid Fence	1.8m
	Side Rear onto Street	Semi-Permeable: Type 2	1.8m
	Side Rear onto Reserve	Semi-Permeable: Type 2	1.8m
B	Back onto Laneway	No fence or;	N/A
		Hedge;	1.2m
		Permeable;	1.2m
		Semi-Permeable: Type 1	1.2m

LANDSCAPE ZONE TREATMENTS

ID	ZONE	DESCRIPTION	TREATMENT
+	Tree	Must be planted 0.75m minimum from any boundary, and the house be laid out to be a minimum of 2.0m from the tree.	Tree if possible
●	Front Landscape Zone	Minimum of 1.5m wide measured from front boundary. 100% treatment coverage required.	Low planting
●	Side Landscape Zone	Minimum of 1m wide where possible measured from the front side boundary.	Low planting
			Medium planting
			Lawn
●	General Landscape Zone	Remaining space not covered by the above. Must consist of porous surfaces.	Low planting
			Medium planting
			Lawn
			Permeable paving
			Gravel

Refer to plant palette for species lists.

EXAMPLE OF LANDSCAPE TREATMENT



2m setback shown

- LEGEND**
- FRONT LANDSCAPE ZONE
 - FRONT BOUNDARY TREATMENT
 - SIDE FRONT BOUNDARY TREATMENT
 - BACK BOUNDARY TREATMENT
 - SIDE REAR BOUNDARY TREATMENT
 - ↔ PEDESTRIAN ACCESS
 - DRIVEWAY

RECOMMENDED PLANT PALETTE | Collector Road Front Yard

TREES:

Height (H), spread (S), native (N), exotic (E), edible (F)



Acer 'Bloodgood'
H:4m S:3m. E



Acer senkaki
H:4m S:3m. E



Amelanchier canadensis
H:7m S:3m. E



Cercis 'Forest Pansy'
H:5m S:3m. E



Prunus amanogawa
H:7m S:2m. E

Collector Street Planting Intent: Grand exotic avenue tree species to emphasise road hierarchy. Mixture of native and exotic under-planting with white flower colour palette. Under-planting becomes more native to the southern portions of the Collector Roads.

LOW PLANTING: up to 0.5

Suitable for Front, Side and General Landscape Zones.



Alchemilla mollis



Buxus sempervirens



Helleborus orientalis



Hosta sp.



Ophiopogon planiscapus



Pratia angulata



Stachys byzantina



Rosa 'Flower Carpet White'



Thymus vulgaris

MEDIUM PLANTING: up to 1.5

Suitable for Side and General Landscape Zones.



Cyanococcus sp.



Cynara scolymus



Dianella casa blue



Hydrangea 'Annabelle'



Lavandula 'Hidcote'



Rhododendron yakushimanum FCC



Rosmarinus officinalis

HEDGE SPECIES: up to 1.2

Suitable for inclusion as specified in the Boundary Treatments Table.



Lonicera nitida



Westringia fruticosa



Choisya ternata



Corokia 'Geentys Green'



Elaeagnus ebbingei



Michelia gracipes

RECOMMENDED PLANT PALETTE | Local B Front Yard

TREES:
Height (H), spread (S), native (N), exotic (E), edible (F)



Cornus kousa
H:7m S: 3m. E



Magnolia 'Yellow Bird'
H:5m S:3.5. E



Malus ioensis plena
H:4m S:3m. E



Pseudopanax crassifolius
H:6m S:2m. N



Pyrus calleryana 'Kea'
H:7m S:3m. E



Sophora longicarinata
H:5m S:3m. N

Street Planting Intent: Native tree planting to attract native birds and encourage biodiversity.

LOW PLANTING: up to 0.5
Suitable for Front, Side and General Landscape Zones.



Hebe 'Emerald Green'



Helichrysum graham paterson



Leptinella platt's black



Libertia grandiflora



Parahebe snowcap



Phormium 'Pepe'



Podocarpus nivalis



Pratia angulata



Uncinia uncinata

MEDIUM PLANTING: up to 1.5
Suitable for Side and General Landscape Zones.



Alchemilla mollis



Chionochloa flavicans



Haloragis erecta purpurea



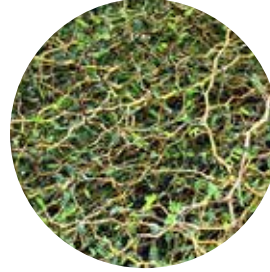
Hebe odora



Lomandra tanika



Pachystegia insignis



Sophora prostrata

MEDIUM HEDGE SPECIES: up to 1.5
Suitable for inclusion as specified in the Boundary Treatments Table.



Buxus sempervirens



Coprosma propinqua



Corokia 'bronze king'



Corokia 'Geentys Green'



Fiejoa 'Unique'

RECOMMENDED PLANT PALETTE | Reserve Front Yard

TREES:

Height (H), spread (S), native (N), exotic (E), edible (F)



Apple ballerina 'Polka'
H:4m S:1m. F



Cedrela sinensis 'Flamingo'
H:5m S:3m. E



Magnolia iolanthe
H:8m S:3m. E



Malus ioensis plena
H:4m S:3m. E



Malus trilobata
H:5m S:2m. F



Prunus 'Thundercloud'
H:8m S:4m. E

Reserve Planting Intent: Production planting with horticultural and other edible plant species, in addition to some structured planting. The greenway planting gradually transitions from European heritage and production in the North of the site through to native and ecological planting to the South.

LOW PLANTING: up to 0.5

Suitable for Front, Side and General Landscape Zones.



Alchemilla mollis



Hebe 'Emerald Green'



Heuchera sp.



Libertia grandiflora



Rosa
'Flower Carpet White'



Sage



Thymus vulgaris



Euphorbia 'Kea'



Strawberries

MEDIUM PLANTING: up to 1.5

Suitable for Side and General Landscape Zones.



Arthropodium cirratum



Blueberry



Chionochloa flavicans



Choisya ternata



Daphne odora 'Leucanthe'



Hebe 'Oratia Beauty'



Lomandra tanika



Pittosporum hedgehog

HEDGE SPECIES: up to 1.2

Suitable for inclusion as specified in the Boundary Treatments Table.



Myrtus ugni



Escallonia sp.



Fiejoa 'Unique'



Rosmarinus officinalis



Viburnum tinus 'Lucidum'

RECOMMENDED PLANT PALETTE | Back Yard Trees

TREES:

Height (H), spread (S), native (N), exotic (E), edible (F)



Apple ballerina 'Polka'
H:4m S:1m. F



Acer 'Bloodgood'
H:4m S:3m. E



Acer platanoides 'Crimson king'
H:8m S:6m. E



Acer senkaki
H:4m S:3m. E



Amelanchier canadensis
H:7m S:3m. E



Apple sp.
H:± 5m S:± 4m. F



Cedrela sinensis 'Flamingo'
H:5m S:3m. E



Cercis 'Forest Pansy'
H:5m S:3m. E



Cherry lapin
H:5m S:5m. F



Cordyline australis
H:10m S:2m. N



Cornus kousa
H:7m S: 3m. E



Eucryphia nymansensis
H:5m S:2m. E



Fagus sylvatica 'Dawyck'
H:4m S:2m. E



Gleditsia triacanthos 'Sunburst'
H:6m S:5m. E



Liquidambar styraciflua 'Worplesdon'
H:7m S:4m. E



Magnolia denudata
H:4m S:3m. E



Magnolia iolanthe
H:8m S:3m. E



Magnolia 'Yellow Bird'
H:5m S:3.5. E



Malus trilobata
H:5m S:2m. F



Olea europaea
H:6m S:4m. E



Parrotia persica
H:5m S:4m. E



Peach 'Black Boy'
H:5m S:4m. F



Pear 'Double Worked'
H:5m S:4m. F



Plagianthus regius
H:12m S:3m. N



Prunus amanogawa
H:7m S:2m. E



Prunus 'Thundercloud'
H:8m S:4m. E



Pseudopanax crassifolius
H:6m S:2m. N



Pyrus calleryana 'Kea'
H:7m S:3m. E



Quince smyrna
H:4m S:4m. F



Sophora longicarinata
H:5m S:3m. N

FENCING TYPOLOGY | Lot Fencing: Permeable

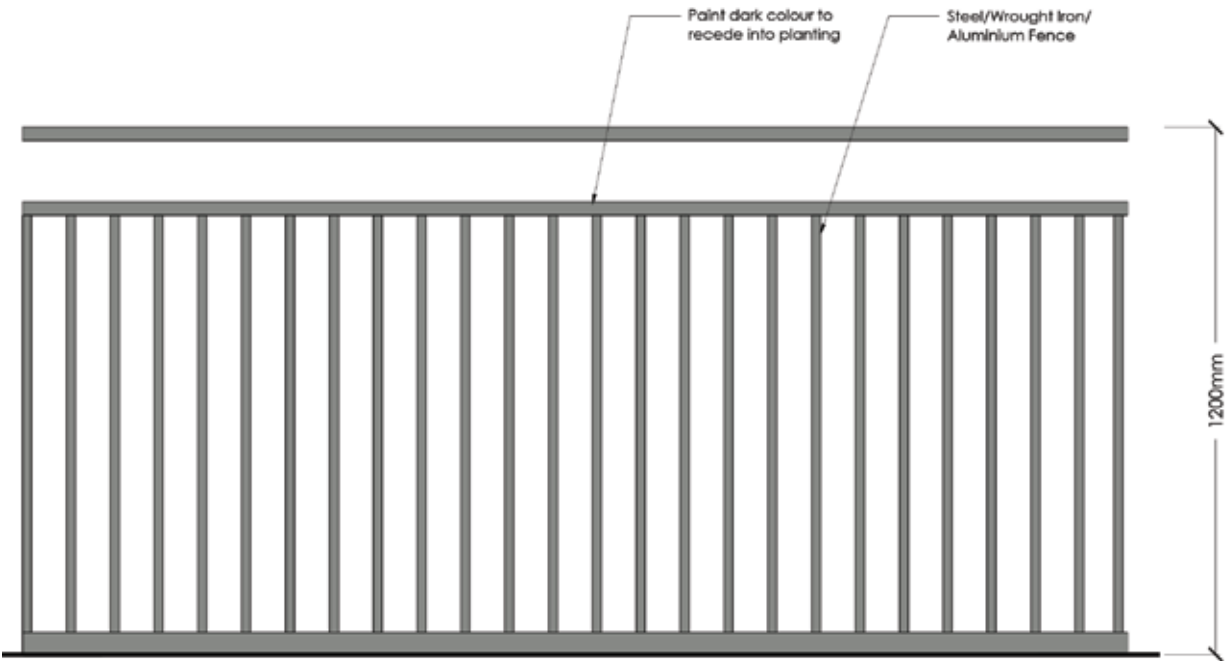
PERMEABLE FENCE: ACCEPTABLE SOLUTIONS

OPEN METAL STYLE

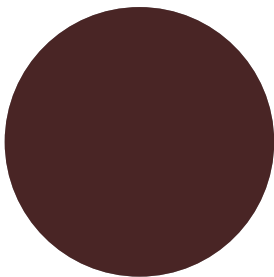
Suitable for Front onto Street, Front onto Reserve, Side Front, Back onto Laneway



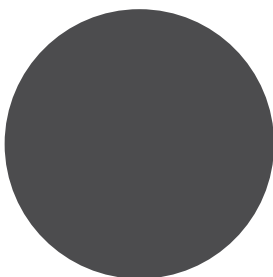
Inspiration image



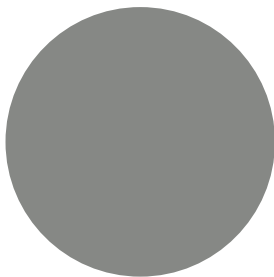
COLOUR PALETTE



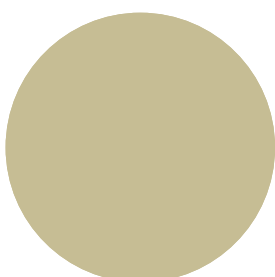
Resene 'Mahogany'



Resene 'Uhi'



Resene 'Stack'



Resene 'Thistle'

FENCING TYPOLOGY | Lot Fencing: Semi-Permeable

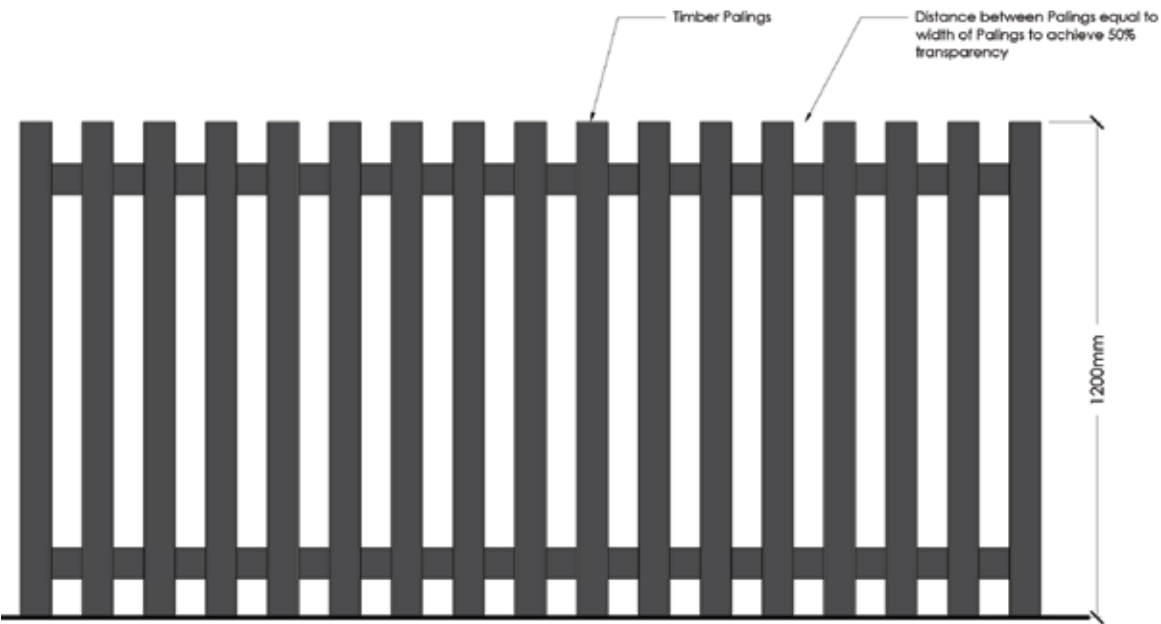
SEMI-PERMEABLE FENCE: ACCEPTABLE SOLUTIONS

TYPE 1. TIMBER PICKET STYLE

Suitable for Back onto Laneway.



Inspiration image

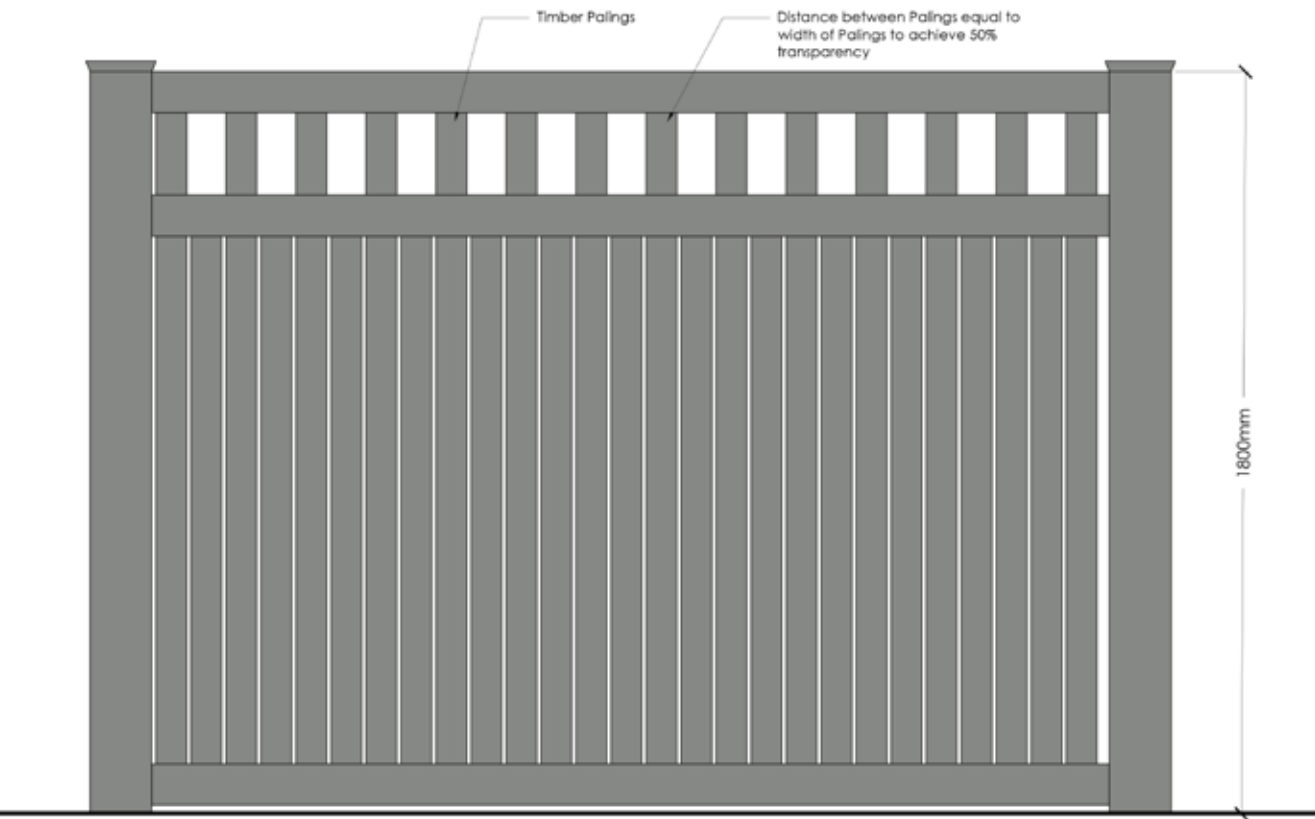


TYPE 2. HALF HEIGHT TIMBER AND TRELLIS

Suitable for Side Rear onto Street, Side Rear onto Reserve.



Inspiration image



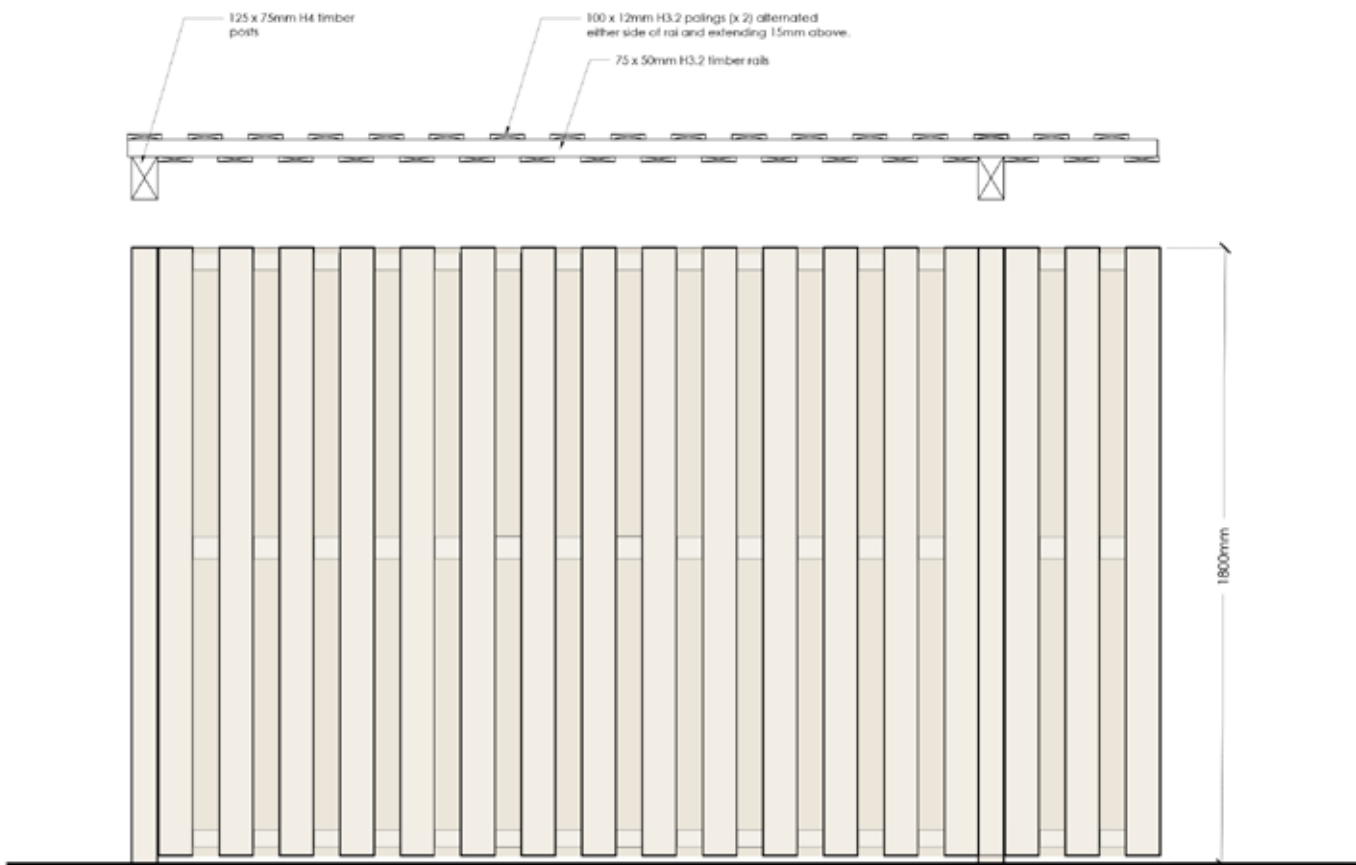
FENCING TYPOLOGY | Lot Fencing: Solid

SOLID FENCE: ACCEPTABLE SOLUTIONS

SOLID TIMBER STYLE A
Suitable for Side Rear onto Neighbour.



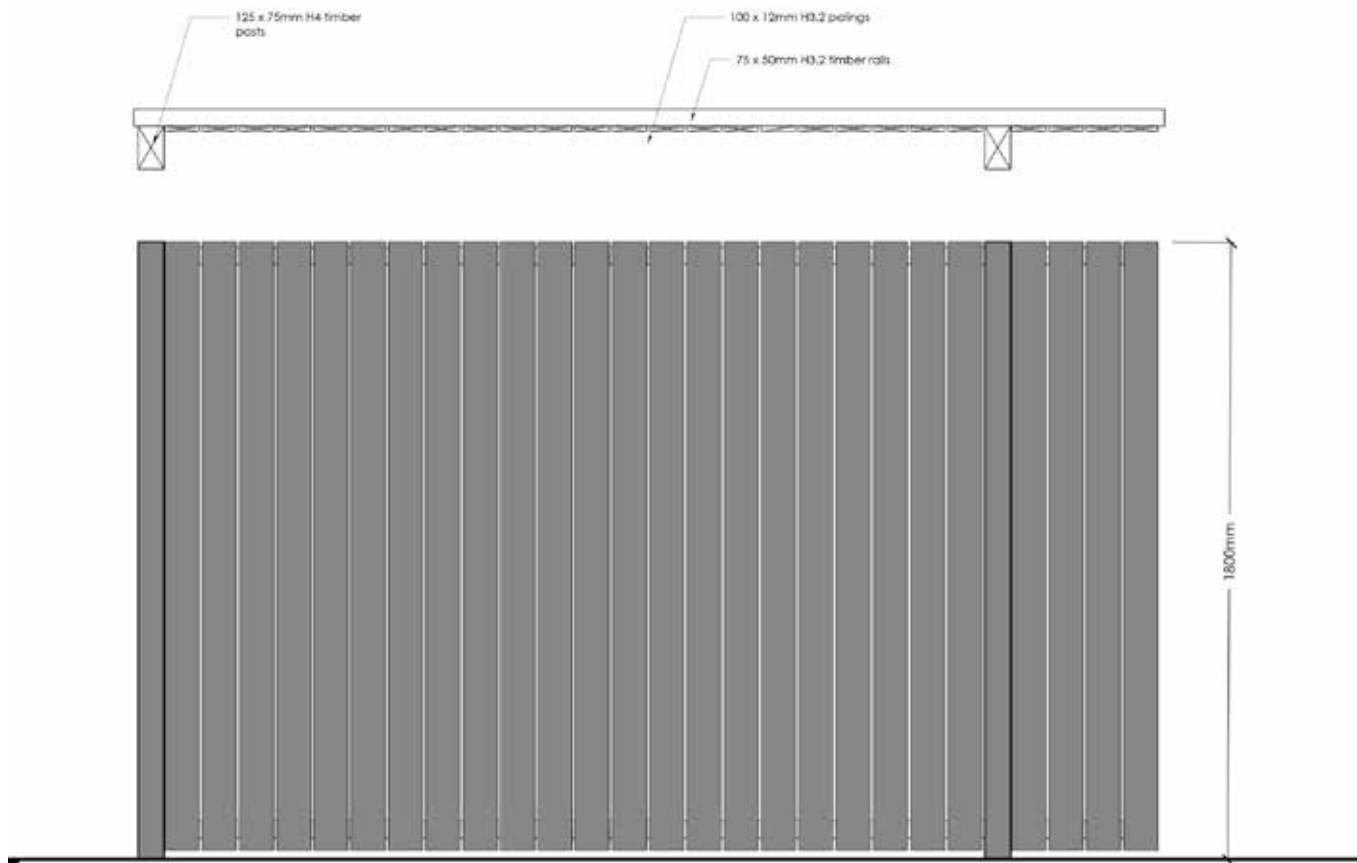
Inspiration image



SOLID TIMBER STYLE B
Suitable for Side Rear onto Neighbour.



Inspiration image



Architectural Design Principles for Super Lots

Architecture

A contemporary interpretation of the residential Christchurch Style, exemplified through the design of the late Peter Bevan, provides the basis for the built form of Halswell Commons, contributing to the neighbourhood's sense of place and identity.

The following architectural elements are key to ensuring that the vision for Halswell Commons is upheld and the key urban design principles related to built form are met.

Roof and building forms

The use of gable roofs and simple building forms, with the potential for more complex modular arrangements of these on a site, help modulate the building and support a cohesive street scene and human scale. Hip and Mansard roofs may be used for larger structures. Flat roofs should only be used for minor structures and roof gardens.



Balconies

Balconies provide outdoor living space and help modulate and create interest in the building form. Where a balcony provides the main outdoor living area, it should be accessed directly from the main living room and should be of a useable length and dimension. In addition, the balcony should be designed to ensure an adequate level of privacy for neighbours.



Fenestration and building features

The arrangement and extent of use of windows and doors to address the street and open space is important to the vitality and safety of these spaces, as well as to the internal amenity of the building.

Small projections such as dormer and bay windows, porches and verandas (of a useable width) add to the architectural detail, visual interest and interaction between the building and the street.

Porches and verandas can also provide semi private space that creates a transition between public and private spaces where the building is located in close proximity to the street.



Garages and carports

The garage or carport should be designed to be a secondary rather than dominant design

Exterior Materials

Exterior materials and colour contribute to the visual cohesion and building articulation, and support neighbourhood development and identity. A limited palette of building materials and colours, utilised creatively, and that are durable can be effective in achieving this, as well as letting the designer utilise them in varied and interesting ways.

Cladding materials

Are limited to the following:

- Weatherboards including timber and James Hardie Linea Weatherboard and similar as well as board and batten.
- Metal, used as minor element and non-reflective surfaces.
- Stone, used sparingly.
- Rendered brick.
- Exterior concrete and AAC (Autoclaved Aerated Concrete) Panel.

- Concrete block – natural, plastered and painted, or honed.

Roof materials

Within the context of more intensive residential development and the generally flat topography of the neighbourhood, the roofs have the potential to visually contribute to the neighbourhood identity, as well as address any potential adverse effects. Roof materials are to be non-reflective, subdued earth colours and limited to:

- Eurotray
- Oxidised tin
- Profiled (Longrun Colorsteel – various profiles) Iron
- Copper
- Slate
- Butyl Rubber for Flat Roofs

Colours

Except for feature/landmark buildings colours are encouraged to be from a palette of muted earth tones, creams and whites to ensure a classical and elegant streetscape.

Accent colours should only to be used in feature buildings which are intended to make an architectural statement.